

Bass Coast Shire Neighbourhood Character Study

Final Report

July 2024



Acknowledgement of Country

Bass Coast Shire Council acknowledge the Bunurong as the Traditional Owners and Custodians of the lands and waters, and pays respect to their Elders past, present and emerging, for they hold the memories, the traditions, the culture and Lore.

Bass Coast Shire Council celebrates the opportunity to embrace and empower the Aboriginal and/or Torres Strait Island Communities in their diversity.

Bass Coast Shire Council will create opportunities for future recognition and respectful partnerships that will honour the Traditional Owners and Custodians, and Aboriginal and/or Torres Strait Islander Peoples.

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The information contained in this document is for submission to Bass Coast Shire Council. The client shall make its own enquiries, analysis and calculations and form its own views in relation to the use or development of the property including the application of local government and statutory controls. It is assumed that the client will rely on its own expertise in considering the information.

Ethos Urban operates under a Quality Management System that has been certified as complying with ISO 9001:2008. This report has been prepared and reviewed in accordance with that system. If the report is not signed above, it is a preliminary draft.

VERSION NO.	DATE OF ISSUE	REVISION BY	APPROVED BY
1.0 (DRAFT)	06/10/23	-	NH
2.0 (DRAFT)	24/11/23	LK & ED	TP
3.0 (DRAFT)	22/12/23	ED	TP
4.0 (DRAFT)	31/01/24	ED	NH
5.0 (FINAL)	01/07/24	ED	NH



CoFutures...

Definition of Terms

Table 1 - Definition of Terms

Activity Centres	Retail, service and employment hubs that are usually well serviced by public transport. They range in size from local neighbourhood strip shops to major regional shopping malls and centres.
Articulation	The finer details which provide additional visual interest and reinforce the intentions of the 'Architectural Form'.
Bass Coast Planning Scheme	The Bass Coast Planning Scheme sets out objectives, policies and provisions relating to the use, development, protection and conservation of land in the area to which it applies. It regulates the use and development of land through planning provisions to achieve those objectives and policies.
Building	Definition from Section 3AA of the Planning and Environment Act 1987 A building includes - <ul style="list-style-type: none"> • a structure and part of a building or a structure; and • fences, walls, out-buildings, service installations and other appurtenances of a building.
Building Scale	The size of a building relative to the buildings or elements around it.
Bungalow Architecture	Refers to a low-scale, single-storey house with a sloping, low-pitched roof which is often surrounded by a veranda and constructed out of fibro or weatherboard.
Character Area	Areas with a common preferred character.
Character Type	Broad areas, where the desired character is the same. In these areas, the existing neighbourhood character and era of residential development are usually similar.
Coast	Refers to the part of the land adjoining or near the sea, as defined by the Oxford Dictionary. According to the Office of the Victorian Government Architect, the Victorian Coast is defined to include 'the sea and seabed to the State limit (5.5 kilometres from the high water mark), and all land and inland waters within the coastal catchment.'
Contemporary Architecture	Contemporary architecture essentially refers to the current style of architecture. For example, a house built this year according to current trends would be considered contemporary architecture.
Contemporary Infill Development	A new development within a streetscape of older buildings.
Court	A development pattern characterised by streets with multiple curves, typical of many modern subdivision
Inter-section	Relates to the view obtained in a section between the right-of-way lines cut perpendicular to the direction of travel along the road.
Curvilinear Street Network	A development pattern characterised by streets with multiple curves.
Detached Dwelling	A detached building comprising one dwelling on a site that is held exclusively with that dwelling and has a frontage to a public road (also includes town houses).

Table 1 - Definition of Terms

Dwelling	<p>A building or part of a building used as a self-contained residence, which must include:</p> <ul style="list-style-type: none">• a kitchen sink;• food preparation facilities;• a bath or shower; and• a closet pan and wash basin. <p>It includes out-buildings and works normal to a dwelling.</p>
Gridded Street Network	<p>Refers to a uniform and rigid pattern of streets that follows a predictable and orthogonal layout.</p>
Gable Roof	<p>A roof that connects to the wall of the building with a vertical end.</p>
Gridded Street Network	<p>Refers to a uniform and rigid pattern of streets that follows a predictable and orthogonal layout.</p>
Hipped Roof	<p>A roof that connects to the wall of the building with an angled end.</p>
Inter-war Architecture (1918 - 1939)	<p>Inter-war period saw the emergence of the Art Deco, Functionalist, Mediterranean, Spanish Mission, Californian Bungalow, Old-English and Inter-war Queenslander architectural styles. Single storey detached houses and simple building forms with limited embellishment were common during this period, as well as large setbacks on large blocks.</p>
Kerb and channel	<p>Refers to a gutter which forms a barrier between the road pavement and the naturestrip and directs stormwater into stormwater drains to protect the edge of the road from erosion. A gutter is generally constructed of concrete or bluestone</p>
Modern Architecture	<p>Emerging in the first half of the 20th century, Modern architecture is a style of building that emphasizes function and a streamlined form over ornamentation. This design aesthetic is a departure from more elaborate and decorated homes like Queen Anne, Victorian, or Gothic Revival styles. Modern architecture usually involves sharp, clean lines. Common modern architectural features include flat roofs, walls made of rectilinear geometric shapes and floor-to-ceiling windows.</p>
Modified-grid street network	<p>Refers to a modified version of the typical, uniform grid and features an interconnected pattern of streets that follows a predictable, roughly orthogonal layout.</p>
Moonscaping	<p>Relates to the wholesale removal of vegetation, or the removal of a number of trees from a site at the same time, usually associated with large scale redevelopment proposal.</p>
Muted Colour Palette	<p>Palette of earthen and bush tones, particularly various greens, darker browns and greys which complement the vegetated landscape setting.</p>
Neighbourhood Character	<p>The interplay between development, vegetation and topography in the public and private domains that distinguishes one residential area from another.</p>
Neutral Colour Palette	<p>Palette of natural tones, particularly lighter browns, greys, blues and creams which complement the coastal setting.</p>
Orientation	<p>Refers to how a building is positioned in relation to the sun's paths in different seasons, as well as to prevailing wind patterns. As the path of the sun in Australia is to the north, orientation is usually about whether the living areas of a dwelling are north facing.</p>
Open Swale	<p>An open channel that collects water from hard surfaces and allows it to percolate into the ground, reducing the amount of runoff leaving the road or property.</p>
Overlays	<p>Planning scheme controls that apply to specific areas to address a particular issue such as environmental, landscape, heritage and flooding. These requirements operate in addition to those provided by the land's zoning.</p>

Table 1 - Definition of Terms

Pitched Roof	A roof that is not flat. Generally, roofs will have an angle of pitch from 20-40°.
Planning Policy Framework (PPF)	Comprises general principles for land use and development in Victoria contained in the planning scheme. It sets visions, objectives, strategies and decision guidelines that must be taken into consideration by local Councils when making a planning decision.
Post-war Architecture (1945 - 1965)	Although more traditional than those of Modern design, Post-war houses are usually single storey with interconnected living rooms - a move towards open planning. Post-war houses are often characterised by the triple fronted brick veneer.
Precinct Profile	Provide a summary of unique character areas with associated character objectives and design guidelines to provide guidance to future development.
Preferred Character Statement	Policy statement that articulates an area's desired future character.
Public Realm	Relates to all exterior places, linkages and built form elements that are physically and/or visually accessible regardless of ownership. These elements include but are not limited to, streets, footpaths, bike paths, vehicle crossovers, nature strips, water fronts, parks, view corridors, landmarks and building interfaces.
Render Finish	Textured concrete that is applied over brickwork to walls or fences.
Semi-detached Dwelling	A dwelling that shares a common wall with another dwelling.
Setbacks	The distance that a building is located from the site boundary. This Study has looked at the pattern of front setbacks and side setbacks within each street, i.e. the distance the buildings are located from the front or side site boundaries respectively.
Solar access	Refers to the availability of sunlight to a property.
Street	A public road in a city, town, or village, typically with building on one or both sides.
Transparent Fencing	Fencing that creates a barrier between the public and private realm without reducing the view to the other side. They are often constructed of wire and post, chain links, or metal bars such as wrought iron.
Views	Relates to views from the public realm to dwellings, between dwellings and vistas across the landscape.
Vehicle Storage	An area on a private property designated for the parking of vehicles. This can include garages, open car port styles and hardstand areas or driveways.

Acronyms

BC1	Bush Coastal 1	DTP	Department of Transport and Planning	NRZ	Neighbourhood Residential Zone
BC2	Bush Coastal 2	ESO	Environmental Significance Overlay	PAM	Performance Assessment Model
BMO	Bushfire Management Overlay	GC	Garden Court	PPF	Planning Policy Framework
BPA	Bushfire Protection Area	GR	Garden Residential	PPN	Planning Practice Note
BR1	Bush Residential 1	GRZ	General Residential Zone	RDF	Residential Development Framework
BR2	Bush Residential 2	HO	Heritage Overlay	RO	Restructure Overlay
CC	Coastal Contemporary	HS	Housing Strategy	RR	Rural Residential
CR	Coastal Residential	LDRZ	Low Density Residential Zone	SCO	Specific Controls Overlay
C1Z	Commercial 1 Zone	LPP	Local Planning Policy	SLO	Significant Landscape Overlay
C2Z	Commercial 2 Zone	LRV	Light Reflectance Value	VPO	Vegetation Protection Overlay
DAL	Distinctive Areas and Landscapes	LSIO	Land Subject to Inundation Overlay	VPP	Victorian Planning Provisions
DDO	Design and Development Overlay	MPS	Municipal Planning Strategy		
DPO	Development Plan Overlay	MUZ	Mixed Use Zone		

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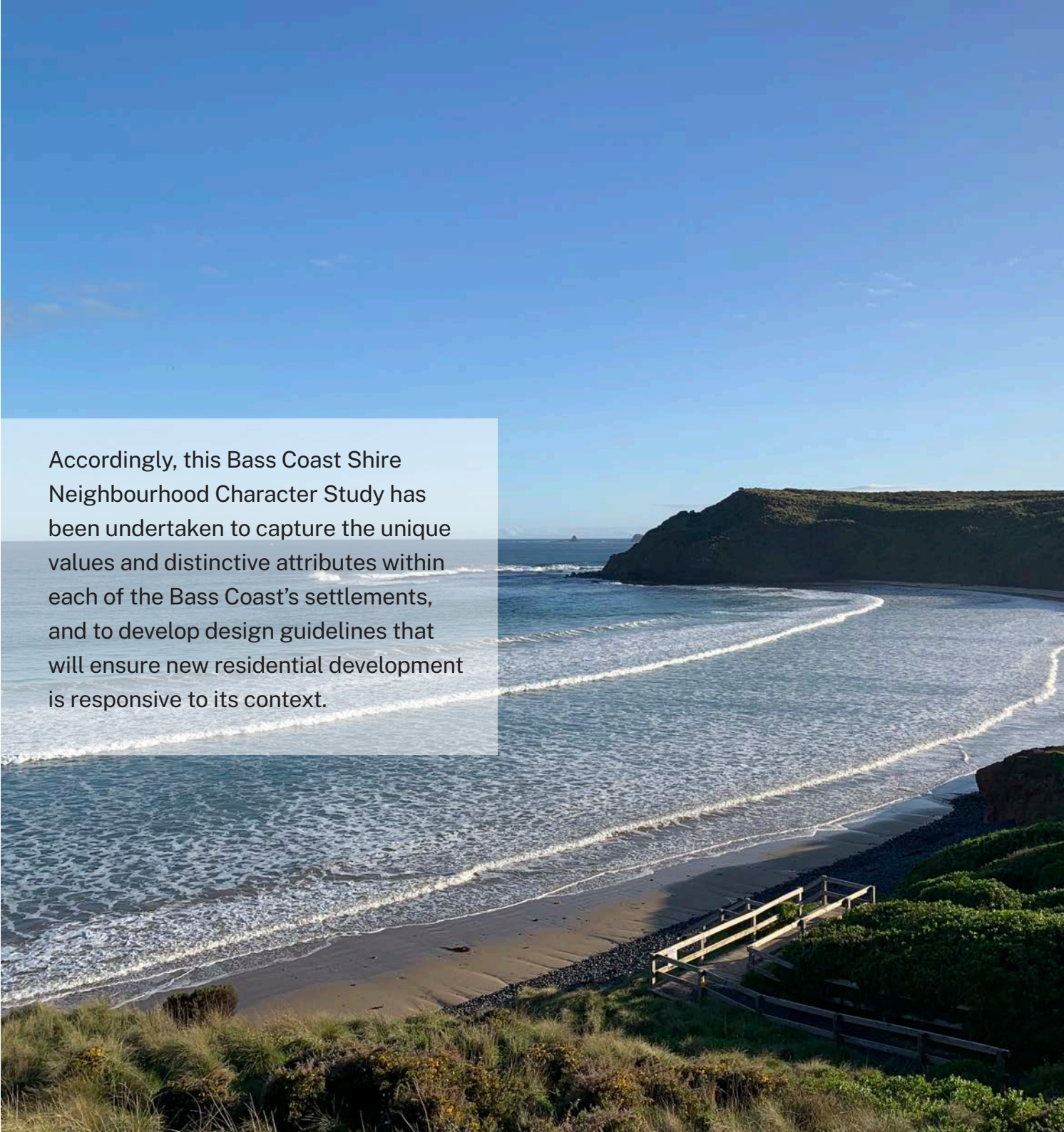
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INTRODUCTION

1.0 Introduction

1.1 Overview

Bass Coast Shire is a predominantly coastal municipality which is surrounded by a landscape setting defined by the foreshore habitats of Bass Strait, Bunurong Coast and Anderson Inlet. Unique coastal areas are complemented by rural hinterland, river flats and the Strzelecki Foothills.



Accordingly, this Bass Coast Shire Neighbourhood Character Study has been undertaken to capture the unique values and distinctive attributes within each of the Bass Coast's settlements, and to develop design guidelines that will ensure new residential development is responsive to its context.

INTRODUCTION

MELBOURNE CBD

30KM

60KM

90KM

BASS COAST SHIRE

Port Phillip

FRENCH ISLAND

Western Port

MOUNT BRIDE

MARNEY HILL

MOUNT RUSSELL

MOUNT TORONGO

STERN
NATURE
RESERVE

INTRODUCTION

Project Overview

Ethos Urban has been engaged by Bass Coast Shire Council to prepare a Neighbourhood Character Study for the municipality. The Study will reflect Bass Coast's existing and preferred neighbourhood character and outline how new development should appropriately respond and contribute to the valued characteristics of the Shire's established residential areas.

The objectives of this project are to:

- Provide an assessment of current neighbourhood character conditions and conduct a review of relevant background material.
- Undertake community and stakeholder consultation at various stages to better understand existing character values, inform preferred character outcomes and determine residential design guidelines for Bass Coast Shire.
- Undertake site visits to identify the attributes and boundaries of the identified neighbourhood character precinct areas.
- Provide recommendations for implementation.

The revised Neighbourhood Character Study and Design Guidelines will be implemented through an Amendment to the Bass Coast Planning Scheme and will provide increased clarity regarding character identification and enhancement of valued attributes.

Project Stages

This project will be undertaken over the following stages:



1.2 Purpose of this Study

Purpose of this Study

This Neighbourhood Character Study provides, for each character area, a statement of preferred character and character attributes, threats to the character and design guidelines for future development of residential areas in the Bass Coast Shire (as defined in Section 1.3).

This Neighbourhood Character Study will also provide recommendations for implementation and next steps (to be completed as part of the final stage of this project).

This Neighbourhood Character Study includes the following:

- Definition of Neighbourhood Character
- Outline of methodology
- Overview of Policy and Statutory Context
- Overview of existing strategies and background information
- Summary of community consultation (to date)
- Identification and summary of the key issues and threats of character in Bass Coast Shire
- Proposed Precinct Profiles of each Neighbourhood Character Area, including:
 - Character Area description
 - Key Attributes
 - Preferred Character Statements

- Character Objectives
- Character Area Maps
- Photos
- Design Guidelines

Why is the current Study being undertaken?

While Bass Coast benefits from an advanced planning framework, there is limited guidance in the Bass Coast Planning Scheme about what preferred neighbourhood character is and how new development can appropriately respond to its context.

Currently, Council relies on broad-brush local policy in its Municipal Planning Strategy and controls in the form of Design and Development Overlay (DDO) schedules to control building heights and site coverage. As policy and controls apply to vast areas across the Shire, they do not distinguish the variations in built form and landscape features that exist within individual settlements. In areas where DDOs are not applied, there is very limited neighbourhood character direction provided by planning policy.

There is also a question of how these policies and controls are interpreted by decision makers and the community alike. While in essence they have been applied to areas that have been identified as requiring consideration be given to particular built form and landscaping elements, their drafting is not as clear in how new developments should respond.

This increases the need for responsive planning policy and controls that better manage development outcomes within settlements. It is important that a detailed Shire-wide Neighbourhood Character Study is undertaken so that tailored direction can be provided for new residential development.

The identified character types and precincts will be used to develop preferred character objectives and design guidelines. Ultimately, a suite of planning controls will give effect to the preferred character statements and associated design guidelines, based on identified future character attributes and housing growth targets (as informed by Bass Coast's Housing Strategy).

A Residential Development Framework (RDF) will be prepared to provide a means to balance the outputs of a Housing Strategy and Neighbourhood Character Study to holistically plan for housing change over a 15 year period; a obligation under the Planning Policy Framework.

Ultimately, the Neighbourhood Character Study, Housing Strategy and Residential Development Framework will enable the Shire to meet future housing growth and demographic trends, while still ensuring new development reflects preferred character across the Shire, as appropriate.

1.3 Study Area

The study area for the Neighbourhood Character Study includes residential land in the following zones:

- Residential Growth Zone (RGZ)
- General Residential Zone (GRZ)
- Mixed Use Zone (MUZ)
- Low Density Residential Zone (LDRZ)
- Township Zone (TZ)

Localities that are covered by the study area include:

- Archies Creek
- Bass
- Cape Paterson
- Cape Woolamai
- Corinella
- Coronet Bay
- Cowes and Silverleaves
- Dalyston

- Grantville and Adams Estate
- Harmers Haven
- Inverloch
- Jam Jerrup
- Kilcunda
- Newhaven
- Pioneer Bay
- Rhyll
- San Remo
- Smiths Beach
- Sunderland Bay & Surf Beach
- Sunset Strip
- Tenby Point
- The Gurdies
- Ventnor
- Wimbledon Heights
- Wonthaggi

Bass Coast Snapshot



40,675 estimated current residents



22% (7,211) population increase between 2016 and 2021



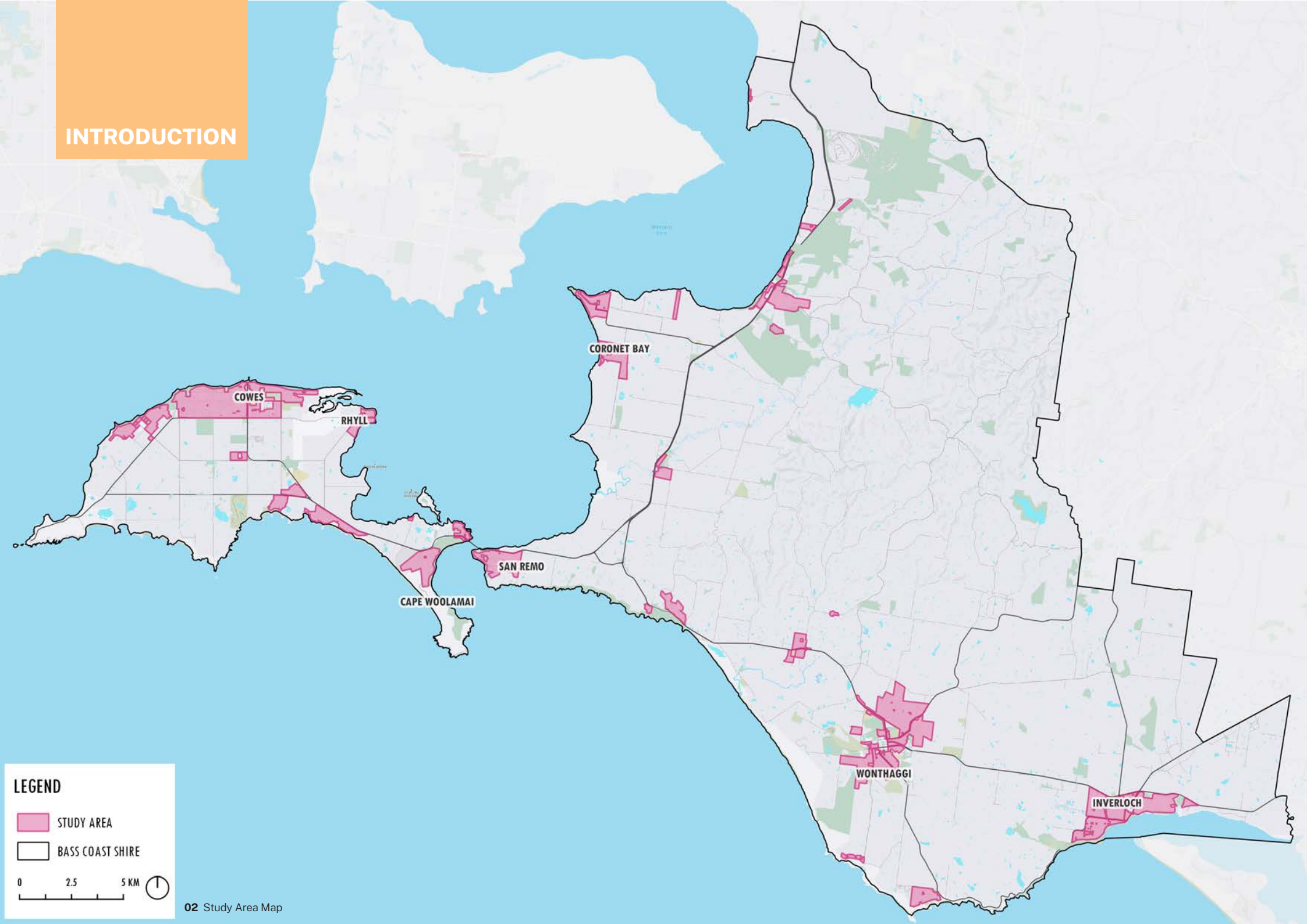
10,000 projected dwellings required by 2036



130km south-east of Melbourne CBD

Source: Bass Coast Shire Background Report & ABS Census Data

INTRODUCTION



LEGEND

- STUDY AREA
- BASS COAST SHIRE



INTRODUCTION

Historical Context

The Bass Coast Shire occupies the traditional country of the Bunurong people. One of the five tribes that make up the Kulin Nation, the Bunurong people of the Boonwurrung language group have occupied the area for more than 35,000 years. The extent of the country includes large parts of present-day Melbourne, extending to the Werribee River in the west, as well as the Mornington Peninsula and Western Port. Bunurong people have a deep spiritual connection to the land and waters. The Bunurong lived in small bands, moving to seasonal camps as necessary, and convene with other groups for purposes such as trade, marriages, and meetings.

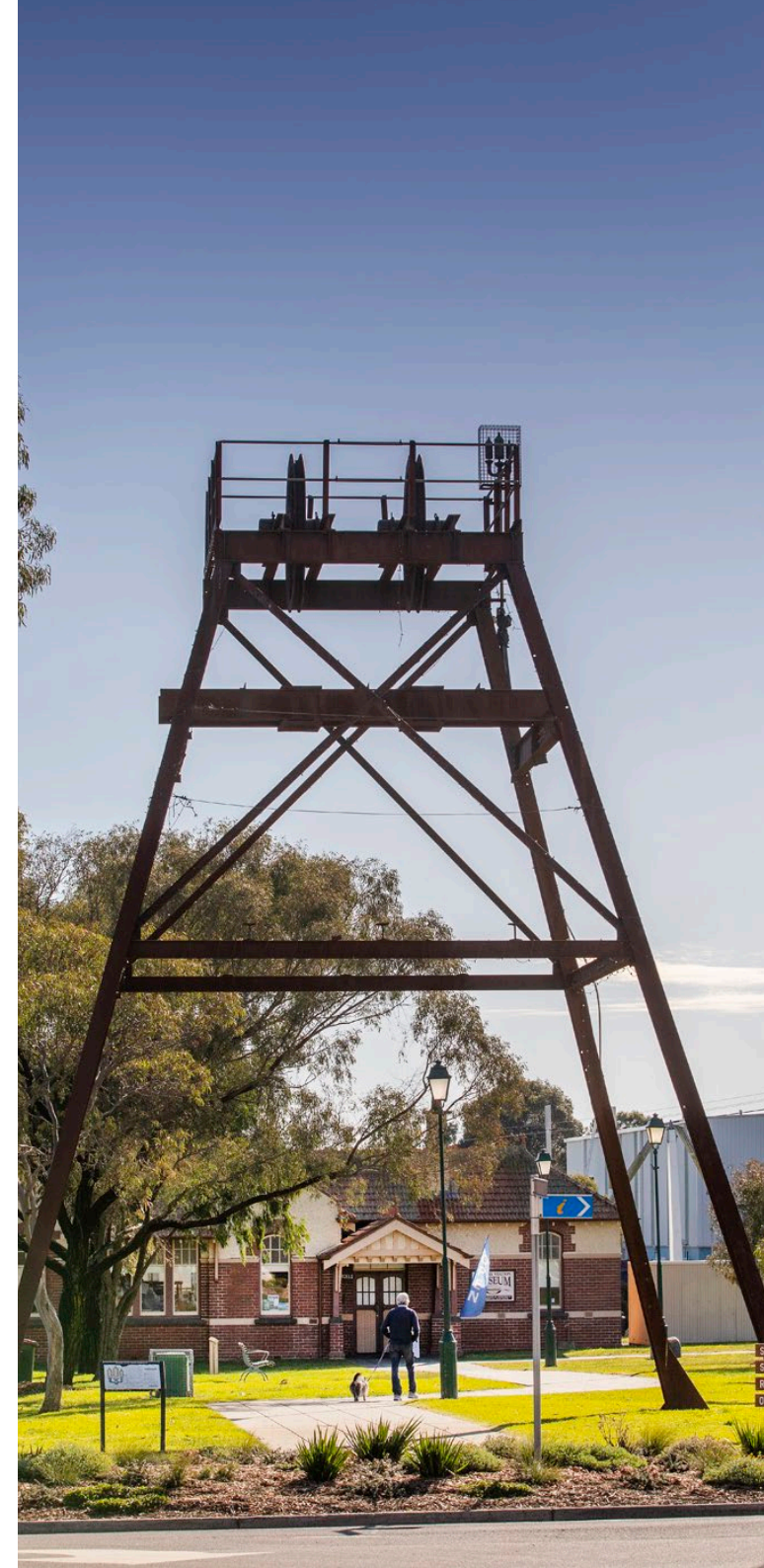
There are currently 640 Aboriginal places within the area occupied by Bass Coast Shire that are recorded on the Victorian Aboriginal Heritage Register. They include stone artefact scatters, shell middens, burial sites and culturally modified trees. Known places of cultural heritage significance are concentrated along the coast and are important physical evidence of the Bunurong people's long history in Bass Coast.

Bass Coast Shire post-European settlement history dates back to some of the earliest European settlement activity in Victoria. From at least 1798, Bunurong people saw ships passing in Bass Strait and had encounters with the strangers who came ashore. This included sealers and whalers, and British naval officers and their crews and convict servants. The early 1800's saw the beginnings of European exploration on the south coast of Australia and the establishment of convict-era settlements. These settlements included Churchill Island, Phillip Island, Fort Dumaresq (present-day Rhyll) and Corinella which were all connected in their part in the chain of transporting goods to Melbourne via ferry then train.

The development of settlements in Bass Coast was initially in response to pastoral settlement in the area, but also to support the early coal, fishing, farming and timber industries. The Bass River, which provided access to important timber resources, supported a number of small settlements in the late nineteenth century. In the late 1800s and early 1900s, the advent of the railway and the State Coal Mine influenced development patterns. The population of inland settlements were mostly concentrated around farming and grazing areas. The extension of the railway line to Wonthaggi in 1910 helped to establish townships at Woodleigh, Kernot, Almurta, Glen Forbes, Woolamai and Anderson.

Communities of fisherfolk were established in the late 1800's at Griffiths Point now known as San Remo on the mainland, and at Newhaven and Rhyll on Phillip Island. This resulted in a significant commercial fishing industry in the district and associated boat manufacturing. Fishing remains a key cultural pastime in the area and local fishing industry continues to transform to respond to changing markets.

Early housing on Phillip Island resulted from land distribution of land via a lottery of those seeking to establish agriculture enterprise. Success was limited and many lots were sold on to more successful landholders. Phillip Island attracted tourists from the 1870's as it became more accessible with regular ferry services. The emergence of guest houses on Phillip Island began in the 1880's with the height of popularity period during the 1920's to the 1950's.



INTRODUCTION

Likewise Inverloch's popularity as a tourist resort town peaked through the 1910s and was booming in the 1920s and 1930s when several guesthouses were available. Very few remain with most demolished or redeveloped with higher density accommodation since the 1980's.

Housing in the 1900's became orientated around coastal townships supporting a tourist trade with smaller less well-built dwellings. The dominant housing stock in the coastal townships were constructed of fibro which were the quintessential beach shacks and still dominate streetscapes to this day.

Unlike the surrounding towns that were established to support local mostly agriculture enterprise, Wonthaggi was established as a working town. The development of housing in the 'model town' of Wonthaggi was planned and staged development from 1910 to facilitate the operation of the Wonthaggi coal mine. Here, housing was designed along class lines to some extent –with simple timber cottages for miners and larger more comfortable homes for the professional class. The development of housing at Wonthaggi was atypical for Victoria but lead the Victorian Government leased house blocks to miners, which were subject to various conditions in line with the model township. Within three years of securing a lease, a building of some kind needed to be erected on the site. The satellite suburbs of Hicksborough, Dudley, and North Wonthaggi were outside the boundary of the planned township and were opened up for land speculation. They were not subject to the conditions of the model township, and many old miners' cottages from Jumbunna and Outtrim were moved by bullock wagon to be relocated in these areas.

Wonthaggi slowly pivoted away from mining to general population servicing industries such as trades, social services and service roles the housing stock in Wonthaggi continued to reflect a more permanent population.

Housing in the Bass Coast Shire has had a long history of recycling and re-use of old building material, beginning with the scavenging of bricks in the 1840s from the early convict settlement at Corinella. There is also a long tradition of making-do, and using what is available, and a long practice of house relocation: houses were moved to Wonthaggi from the surrounding area, and then later when mining was in decline they were moved from Wonthaggi to Inverloch. When the 'Buy-Back Scheme' was introduced many of the dwellings on the Summerland's Peninsula were relocated across the shire.

Modern day housing stock in Bass Coast Shire primarily comprises separate dwellings which in 2016 made up 91% of the housing stock. Compared to Regional Victoria, Bass Coast has a smaller than average household size. This can be attributed to the prevalence of single and couple households, likely driven by the area's appeal to retirees and young professionals.

Apart from Wonthaggi, the occupancy rates of dwellings in the municipality fluctuate with the seasons, mirroring the popularity of coastal tourist towns. In some areas, less than 40% of dwellings house permanent residents. This disparity is reflected in the diverse housing stock, with a significant portion catering to short-term stays.

Over the past 5 years, Bass Coast has experienced an average of 648 dwelling approvals per annum. Approvals rates have been higher since the commencement of the COVID pandemic reflecting a growing demand for permanent relocation to the area. The typology of housing is changing with replacement dwellings in established areas more conducive to permanent occupants i.e larger dwellings and higher quality builds.

To date, residential development activity in Bass Coast has been heavily weighted towards greenfield housing at conventional densities in the General Residential Zone (approximately 500-800sqm lots), however, many established areas are starting to experience infill development by way of 2-5 lot subdivisions.

Although infill and medium density housing currently makes up a small proportion of the development activity in Bass Coast (less than 6%), proposed apartment developments are emerging in certain locations such as Cowes and San Remo.



03 Miners Cottages in Wonthaggi

1.4 What is Neighbourhood Character?

The definition of neighbourhood character is drawn from Planning Practice Note 43 Understanding Neighbourhood Character, and has been adapted to reflect the local context of Bass Coast Shire.

Neighbourhood Character in Bass Coast Shire

Neighbourhood character is what visually differentiates a neighbourhood from another, and is the measure of a local identity. It encompasses the way a neighbourhood looks and feels. It is created by a combination of landscape, vegetation, the built environment, history and culture, and how they interact.

Local character is distinctive. It influences the sense of belonging a person feels to that place, the way people respond to ambience, how it influences their mood, their emotional response, and the stories that come out of their relationship with that place.

Neighbourhood character contains many different facets. It is important to understand character in a holistic way, which involves examining the relationship between people and the social, environmental and economic characteristics of place. Local character should guide how to manage a changing urban environment so that any changes are sympathetic to the valued characteristics and ultimately shape a preferred character for an area in the future.

Neighbourhood character is underpinned by the following core concepts:

- Character is a combination of the public and private realms and how they relate to one another.
- Every property, public place or piece of infrastructure makes a contribution, whether great or small.
- It is the cumulative impact of all these contributions that establishes neighbourhood character.
- The key to understanding character is being able to describe how the features of an area come together to give that area its own particular character.
- All areas have a character in the same way that all people have a personality. In some areas the character may be more obvious, more unusual, or more attractive, but no area can be described as having no character.
- The understanding of the key components of neighbourhood character ultimately informs the definition of statements of preferred character for the future.

For Bass Coast Shire's residential areas, the key attributes that have been examined in order to evaluate neighbourhood character are drawn from Planning Practice Note 43 (PPN43), and include:

- Built Form
- Setbacks and Siting
- Fencing
- Gardens
- Nature Strips
- Footpaths
- Viewlines and Topography
- Road Network

Neighbourhood Character and Amenity

Amenity concerns aspects such as pleasantness, ambience and liveability of an area. Neighbourhood character is about sense of place and community value. Regardless of the character of an area there are standards of residential amenity that apply to all residential development.

These basic amenity standards include overlooking, overshadowing and solar access. Sometimes, these amenity standards can have an effect on neighbourhood character, but as a general principle, neighbourhood character and amenity should be treated separately.

INTRODUCTION

Neighbourhood Character and Heritage

In defining neighbourhood character, it is important to understand the differences between neighbourhood character and places of heritage significance that are generally recognised in the planning scheme.

While all areas have a history, not all areas are of heritage significance. Heritage significance is determined by recognised criteria set by Commonwealth, State and local agencies, with reference to the Burra Charter. In Victoria, heritage places and areas are recognised by application of the Heritage Overlay in planning schemes or inclusion on the Victorian Heritage Register. Cultural heritage is largely embodied in the underlying values and the broader physical context of a building or place. It is important to manage and retain this fabric and setting to retain the cultural significance of a place. Heritage significance can't be improved, but the fabric of a place can be improved, restored or reinterpreted.

In many areas building style is important to setting the character of the area. This includes not just typical form and massing, but may also include architectural details, materials and colours. Buildings do not need to be old or historically significant to have a character that is important to people's understanding and enjoyment of an area.

** It should also be noted that issues related to traffic, on-street parking, traffic connectivity and the movements of cars are not relevant to the assessment of neighbourhood character as defined in Planning Practice 43 Understanding Neighbourhood Character.*

1.5 Methodology

Desktop Analysis & Background Review

The desktop analysis identified character area boundaries and enabled a general understanding of the study area. The Phillip Island and San Remo Design Framework (2003) was referred to in determining character area boundaries. The desktop analysis included all land within the Residential Growth Zone (RGZ), General Residential Zone (GRZ), Low Density Residential Zone (LDRZ), Mixed Use Zone (MUZ) and Township Zone (TZ).

Site Survey

A street by street site survey was conducted to ground truth the preliminary neighbourhood character areas, which resulted in further refinement of boundaries.

The methodology for the site survey included:

- A review of the previous neighbourhood character area boundaries.
- A site survey to verify desktop analysis of preliminary character areas.
- An assessment of areas based on the general attributes of private and public realms: built form and layout of the different areas; overall streetscape qualities; vegetation and landscape quality and the era of development.
- Photos for each area and character type.

- Identification of the characteristics and neighbourhood character impacts of new and infill development.
- Identification of more specific character precincts within each character type.

Engagement

Engagement Phase 1

The first stage of engagement was conducted in August 2022. The purpose of this engagement was to determine the key values held by the community about their local neighbourhoods.

This initial stage primarily sought to inform the community about the project, educate the community about neighbourhood character, the Study and the process, as well as hear what the community had to say.

Engagement methods included:

- Email and written submissions
- Online and hard copy survey
- Place-based pop-ups Cowes, Inverloch and San Remo

Engagement Phase 2

The second stage of engagement is scheduled to be conducted in early 2024. The purpose of this stage is to seek feedback on this Draft Study and test findings of previous engagement with the community.

This stage is expected to include a variety of engagement activities, such as drop-in sessions, on-line and hard copy survey, an updated Engage Bass Coast page as the online consultation platform including an interactive mapping tool.

The Study will then be finalised to reflect the findings of the second stage of community consultation.

INTRODUCTION

Overall Strategic Approach

Planning Practice Note 90 provides the methodology for the Neighbourhood Character Study to assist in identifying valued characteristics of areas that need to be considered alongside the extent and nature of future housing outlined in the Housing Strategy.

Therefore, the Neighbourhood Character Study will be implemented alongside the Housing Strategy to assist in identifying the preferred future character in areas identified for minimal, incremental and substantial change.

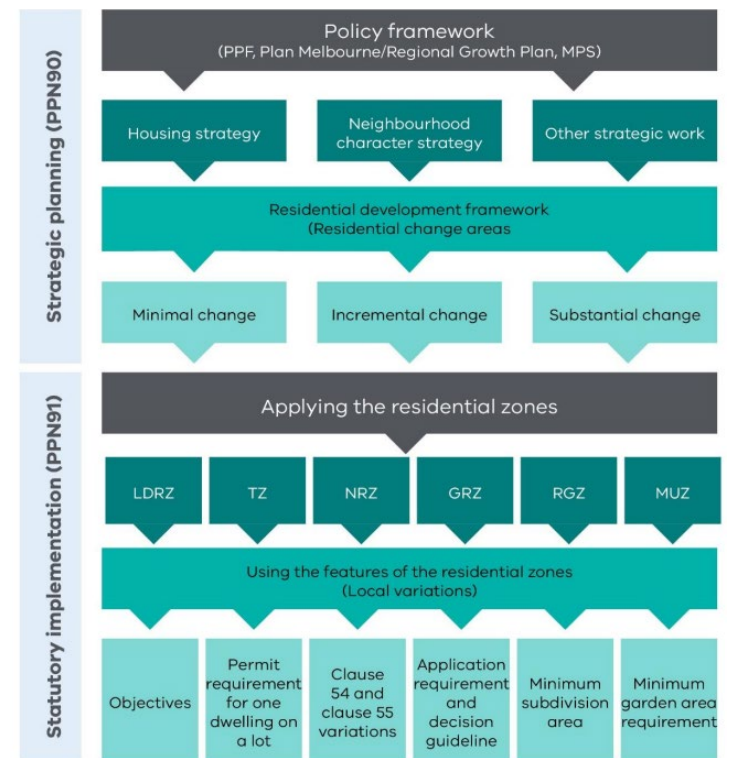
The neighbourhood character outcomes identified in this Study are aligned with the areas identified for housing change in order to provide certainty for the community and industry about whether housing growth or the retention of existing neighbourhood character is to be prioritised in a defined area or neighbourhood.

The combined outcomes of the Neighbourhood Character Study and the Housing Strategy inform the Residential Development Framework (RDF). The RDF seeks to create a coherent strategic vision for residential development in Bass Coast.

The methodology adopted by the RDF has also been developed in accordance with the guidance and information outlined in PPN 90 and 91.

The RDF prioritises the preferred development outcomes for all residential areas across the Shire through the recommending changes to existing zones, overlays and policies.

Ultimately, the Neighbourhood Character Study, Housing Strategy and Residential Development Framework will enable the Shire to meet future housing growth and demographic trends, while still ensuring new development reflects preferred character across the Shire.



04 Balancing housing growth and protection of neighbourhood character
Source: Department of Transport and Planning

2.0 Planning Context

2.1 Planning Policy Framework

Overview

This section provides an outline of the Planning Policy Framework (PPF) for Bass Coast Shire and outlines the implications for the Neighbourhood Character Study.

The PPF seeks to guide future development within the Bass Coast Shire, including specific policies relating to built form, vegetation and neighbourhood character.

The Bass Coast Shire do not have any local planning policies which contain specific neighbourhood character objectives, strategies and design guidelines that have statutory effect.

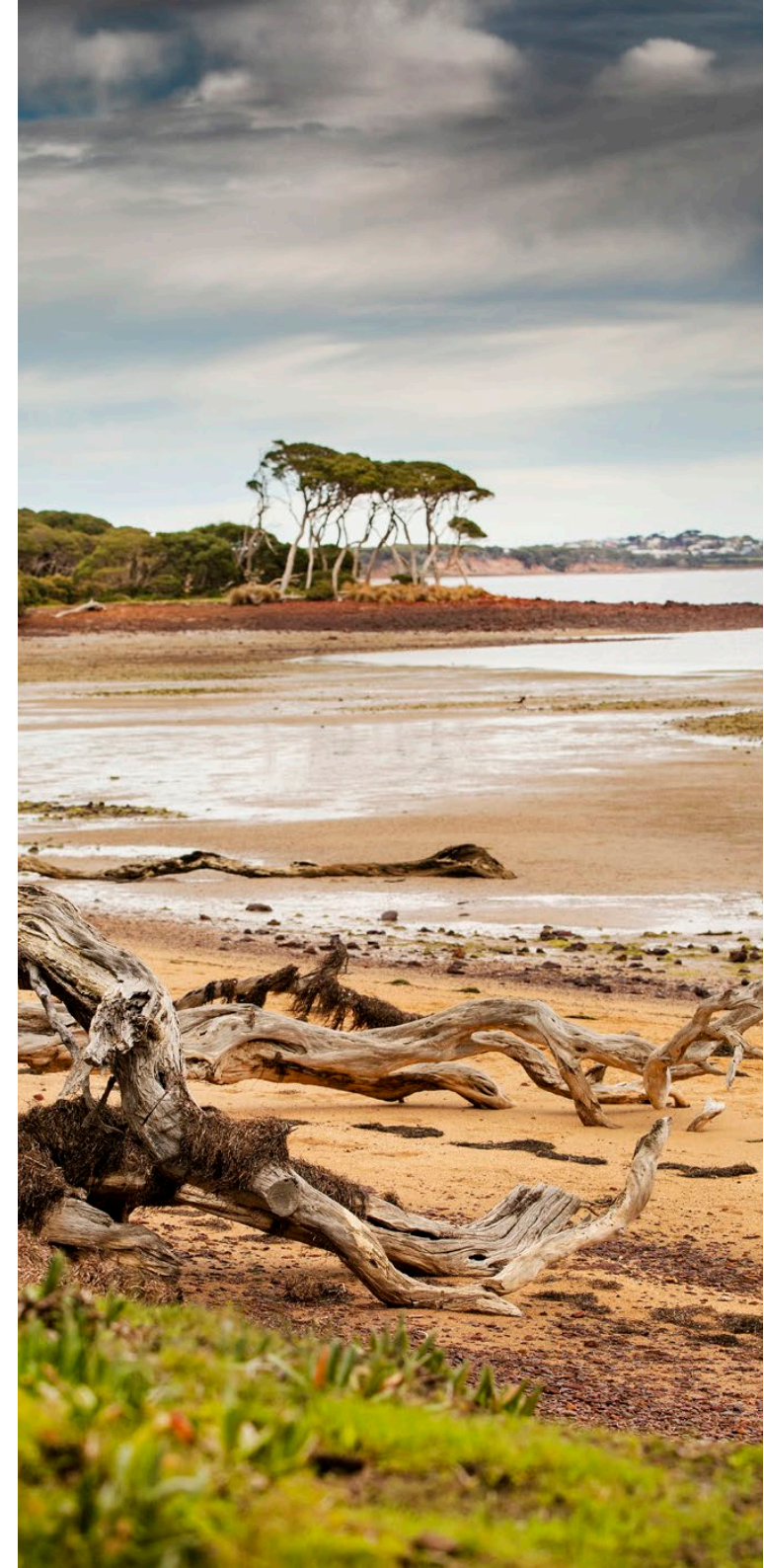
This Neighbourhood Character Study will synthesis the existing policy context, ensuring that preferred character objectives and design guidelines are appropriate and align with both State and Local planning directives.

Planning Policy Framework

The Planning Policy Framework (PPF) provides context for planning decision making. Planning objectives are fostered through appropriate land use and development policies and practices, which integrate relevant environmental, social and economic factors.

The PPF recognises the importance of neighbourhood character and contextual design. It states that neighbourhood character should be protected and recognised.

The PPF includes both Victorian Planning Provisions (VPPs) and Local Planning Provisions (LPPs) which provide general objectives and specific local directions respectively.



The VPPs relevant to this Study include:

- **11.01-1S Settlement:** Seeks to deliver housing that facilitates access to jobs, services, infrastructure and community facilities. A key component of this Clause is to promote and capitalise on opportunities for urban renewal and infill redevelopment. New residential development should be planned around existing or future activity centres to maximise accessibility to facilities and services.
- **12.01-2S Native Vegetation Management:** Seeks to ensure that native vegetation is not unnecessarily removed or destroyed.
- **12.05-2S Landscapes:** Seeks to protect and enhance significant landscapes and open spaces that contribute to character, identity and sustainable environments.
- **13.02-1S Bushfire Planning:** Seeks to strengthen the resilience of human settlements and communities. Importantly, this policy outlines the need to give priority to the protection of human life over all other policy considerations.
- **15.01-1S Urban Design:** Seeks to create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity. Design responses should respond to local contextual features including, character, cultural identity, natural features, surrounding landscape and climate.
- **15.01-5S Neighbourhood Character:** Seeks to recognise, support and protect neighbourhood character, cultural identity, and sense of place. Design responses for new development should respect existing neighbourhood character or contribute to a preferred neighbourhood character.
- **15.01-5L Neighbourhood Character:** Seeks to ensure that where the built form character of an area is established and valued (and the area has not been identified for substantial change), design development to respect and not detract from this character. Also, in areas where development will be more substantial, allow for a greater diversity of built form provided the development is designed to enhance the sense of place and add to the character and overall quality of the urban environment.
- **16.01-1S Housing Supply:** Seeks to provide well-located, integrated and diverse housing that meets community needs. Design responses for new housing in established urban areas should focus on providing higher density housing development on sites that are proximal to jobs, services and public transport.



05 Coastal Streetscape - Sunderland Bay

2.2 Zones and Overlays

Overview

This section provides an outline of the zones and overlays that affect Bass Coast Shire and outlines the associated implications for the Neighbourhood Character Study.

Local variations to zone schedules and overlays provide existing controls to guide appropriate built form outcomes, retain existing vegetation and enhance significant landscapes.

Planning Scheme Zones

The Residential Zones applicable to the Study, include:

- Residential Growth Zone (RGZ)
- General Residential Zone (GRZ)
- Low Density Residential Zone (LDRZ)
- Township Zone (TZ)
- Mixed Use Zone (MUZ)

General Residential Zone (GRZ)

The predominant residential zoning within Bass Coast Shire is the General Residential Zone (GRZ). Typical housing development within the GRZ includes single detached dwellings and multi detached dwellings, with the occasional unit complex closer to town centres in the likes of Cowes and San Remo.

There is a maximum mandatory building height of 11 metres and 3 storeys, unless specified otherwise in a schedule to the zone. Rescode requirements must be met for dwellings and subdivisions.

There is an opportunity to introduce neighbourhood character objectives and to vary rescode requirements relating to street setback, site coverage, permeability, landscaping, side and rear setbacks, walls on boundaries, private open space and front fence height. These standard built form requirements have not been varied in Bass Coast.

Residential Growth Zone (RGZ)

The Residential Growth Zone applies to a select number of sites around the periphery of the Cowes Activity Centre, allowing for increased densities given proximity to commercial services and facilities. Typical housing development includes unit complexes and larger scale single detached dwellings.

There is a maximum mandatory building height of 13.5 metres, unless specified otherwise in a schedule to the zone. Rescode requirements must be met for dwellings and subdivisions.

There is an opportunity to introduce design objectives and to vary rescode requirements relating to street setback, site coverage, permeability, landscaping, side and rear setbacks, walls on boundaries, private open space and front fence height.

Low Density Residential Zone (LDRZ)

The Low Density Residential Zone (LDRZ) applies generally to areas on the periphery of the existing GRZ land. Typically the LDRZ provides for low density residential development on lots which, in the absence of reticulated sewerage, can treat and retain all wastewater on site. Typical housing development includes single storey detached dwellings.

There are no requirements for building height and building height cannot be specified in a schedule to the zone. Limited rescode requirements must be met for subdivisions.

There are no opportunities to vary rescode requirements.

Township Zone (TZ)

The Township Zone currently applies to the Shire's smaller settlements, where the separation of land uses (between residential, industrial and commercial) is not as critical to the function of town. Building height is discretionary and defaults to Clause 54 and Clause 55 standards (9 metres) if nothing is specified in the schedule.

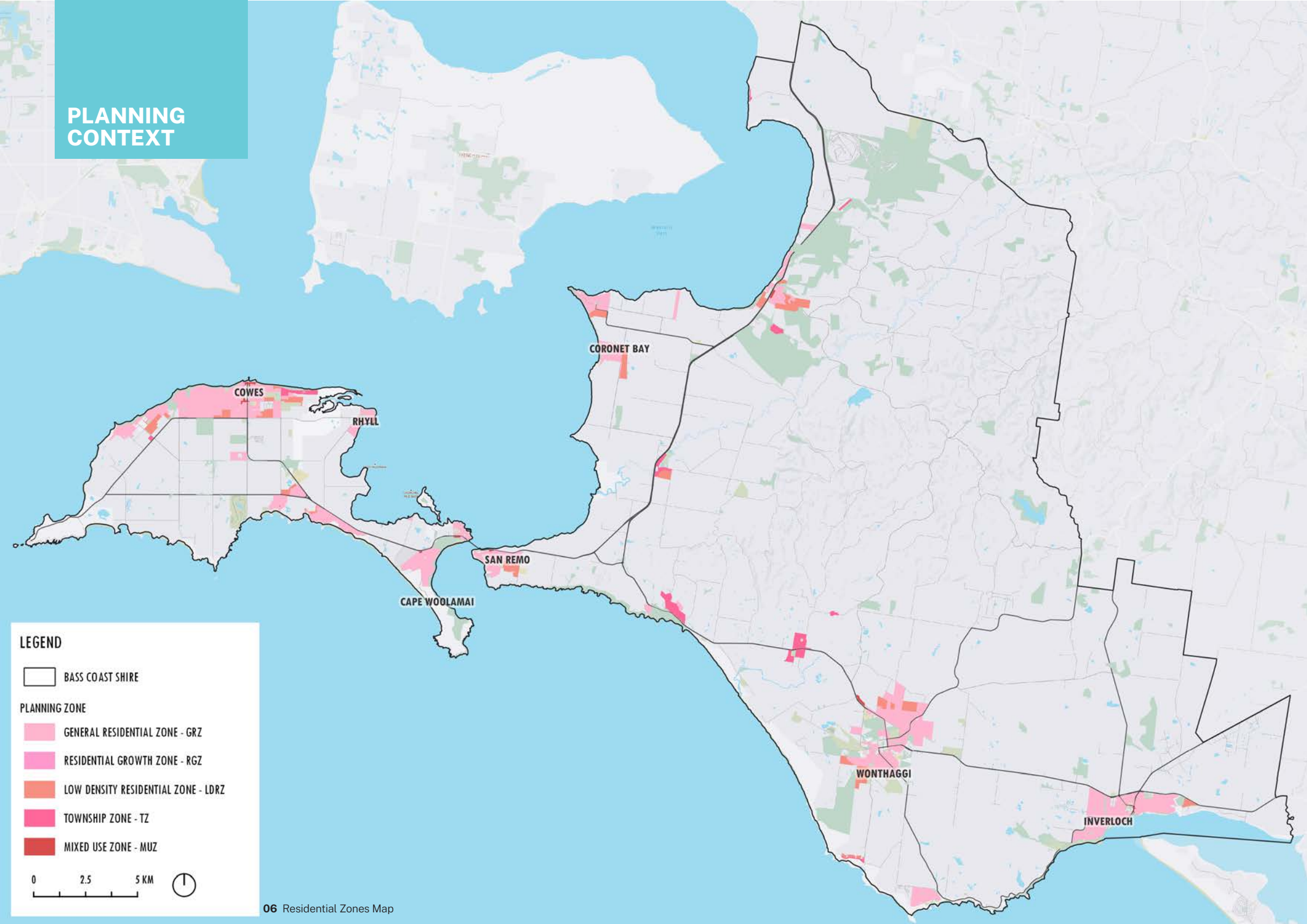
Rescode requirements must be met for dwellings and subdivisions. The zone schedule allows for the inclusion of design objectives and to vary rescode requirements relating to street setback, site coverage, permeability, landscaping, side and rear setbacks, walls on boundaries, private open space and front fence height. These standard built form requirements have not been varied in Bass Coast.

Mixed Use Zone (MUZ)

The Mixed Use Zone (MUZ) provides for a range of residential, commercial and industrial uses that complement the role and function of activity centres. There are no requirements for building height, however, a maximum building height can be specified in a schedule to the zone.

Rescode requirements must be met for dwellings and subdivisions. The zone schedule allows for the inclusion of design objectives and to vary rescode requirements relating to street setback, site coverage, permeability, landscaping, side and rear setbacks, walls on boundaries, private open space and front fence height. These standard built form requirements have not been varied in Bass Coast.






PLANNING CONTEXT

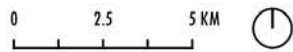


LEGEND

 BASS COAST SHIRE

PLANNING ZONE

-  GENERAL RESIDENTIAL ZONE - GRZ
-  RESIDENTIAL GROWTH ZONE - RGZ
-  LOW DENSITY RESIDENTIAL ZONE - LDRZ
-  TOWNSHIP ZONE - TZ
-  MIXED USE ZONE - MUZ



Overlays

Heritage and Built Form Overlays:

- **Heritage Overlay (HO):** identifies, conserves and enhances heritage places of natural or cultural significance and to ensure development does not adversely affect the significance of heritage places.
- **Design and Development Overlay (DDO):** identifies areas which are affected by specific requirements relating to the design and built form of new development.
- **Development Plan Overlay (DPO):** identifies areas that require future use and development to be outlined on a development plan, before a permit can be granted.

Environmental and Landscape Overlays:

- **Environmental Significance Overlay (ESO):** identifies areas where development may be affected by environmental constraints and ensures that development is compatible with environmental values.
- **Vegetation Protection Overlay (VPO):** identifies areas of existing significant vegetation and encourages regeneration of native plants and trees.
- **Significant Landscape Overlays (SLO):** identifies and protects the character of significant landscapes.

Land Management Overlays:

- **Land Subject to Inundation (LSIO):** recognises and protects riverine and coastal flood prone areas.
- **Bushfire Management Overlay (BMO):** identifies land where there is a high potential for bushfire risk.

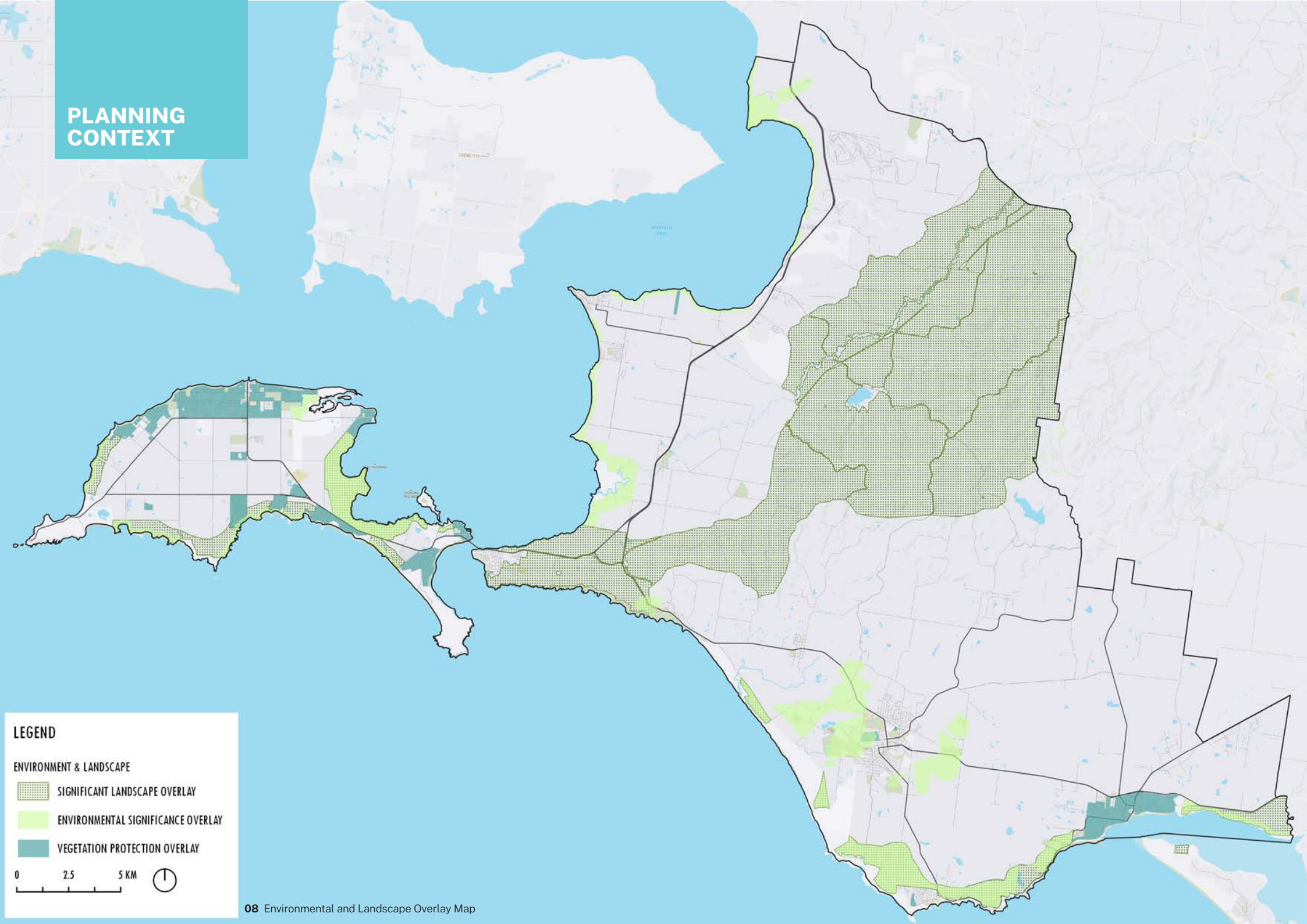
Other Overlays:

- **Restructure Overlay (RO):** identifies old and inappropriate subdivisions.
- **Specific Controls Overlay (SCO):** applies specific controls designed to achieve a particular land use and development outcome in extraordinary circumstances.



07 Residential Streetscape - Wonthaggi

PLANNING CONTEXT



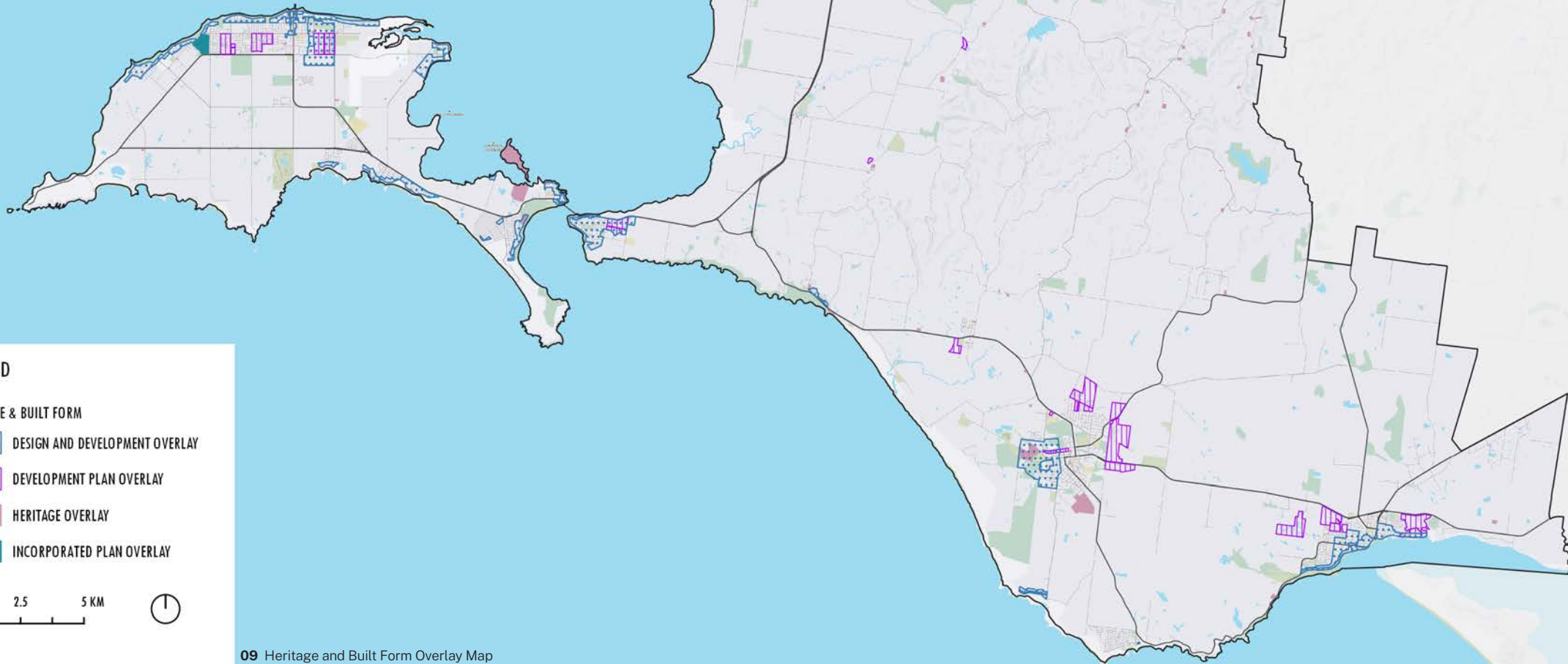
LEGEND

ENVIRONMENT & LANDSCAPE

- SIGNIFICANT LANDSCAPE OVERLAY
- ENVIRONMENTAL SIGNIFICANCE OVERLAY
- VEGETATION PROTECTION OVERLAY

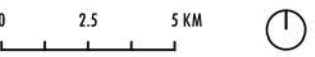
0 2.5 5 KM

PLANNING CONTEXT

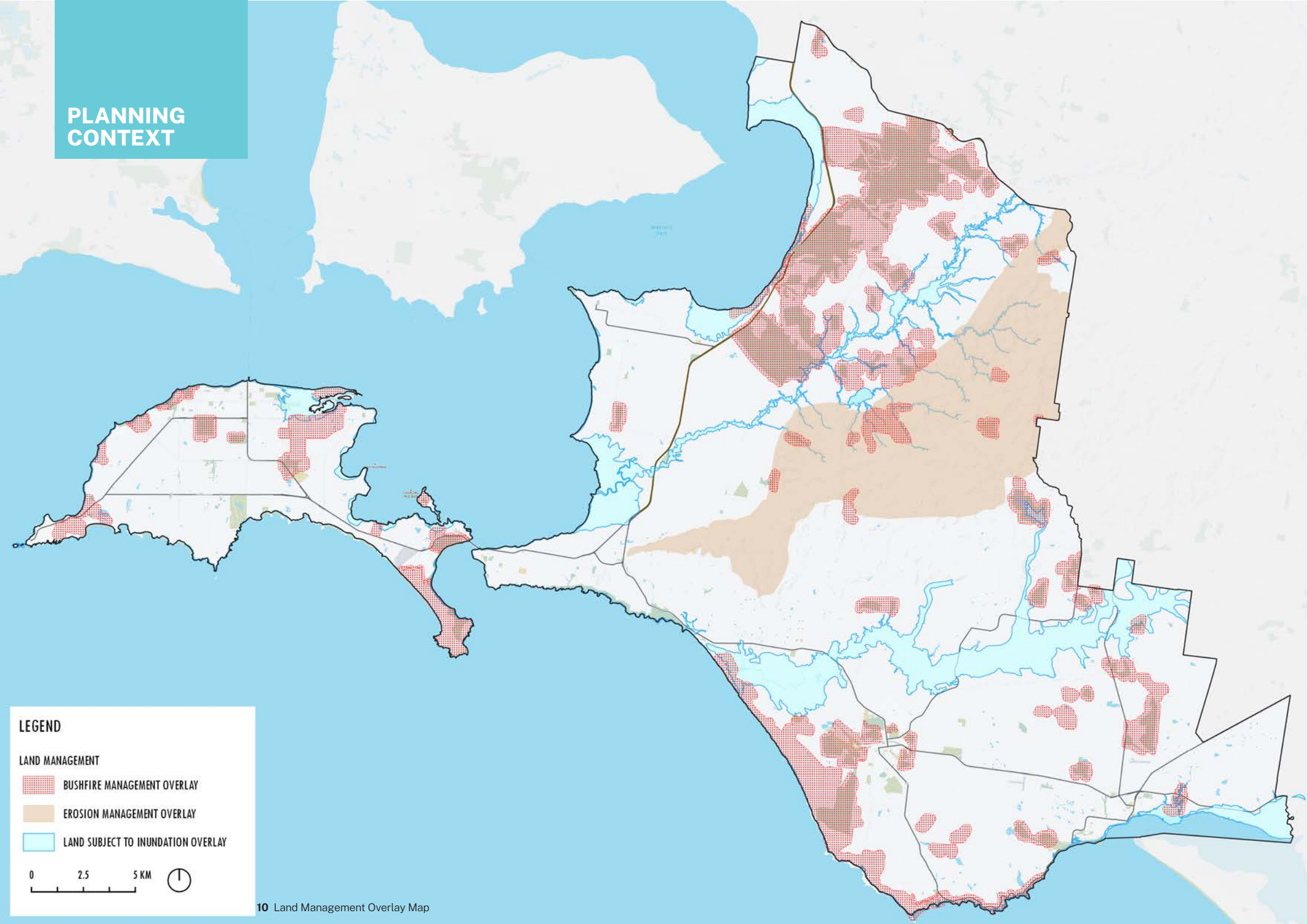


LEGEND

- HERITAGE & BUILT FORM
- DESIGN AND DEVELOPMENT OVERLAY
 - DEVELOPMENT PLAN OVERLAY
 - HERITAGE OVERLAY
 - INCORPORATED PLAN OVERLAY






PLANNING CONTEXT



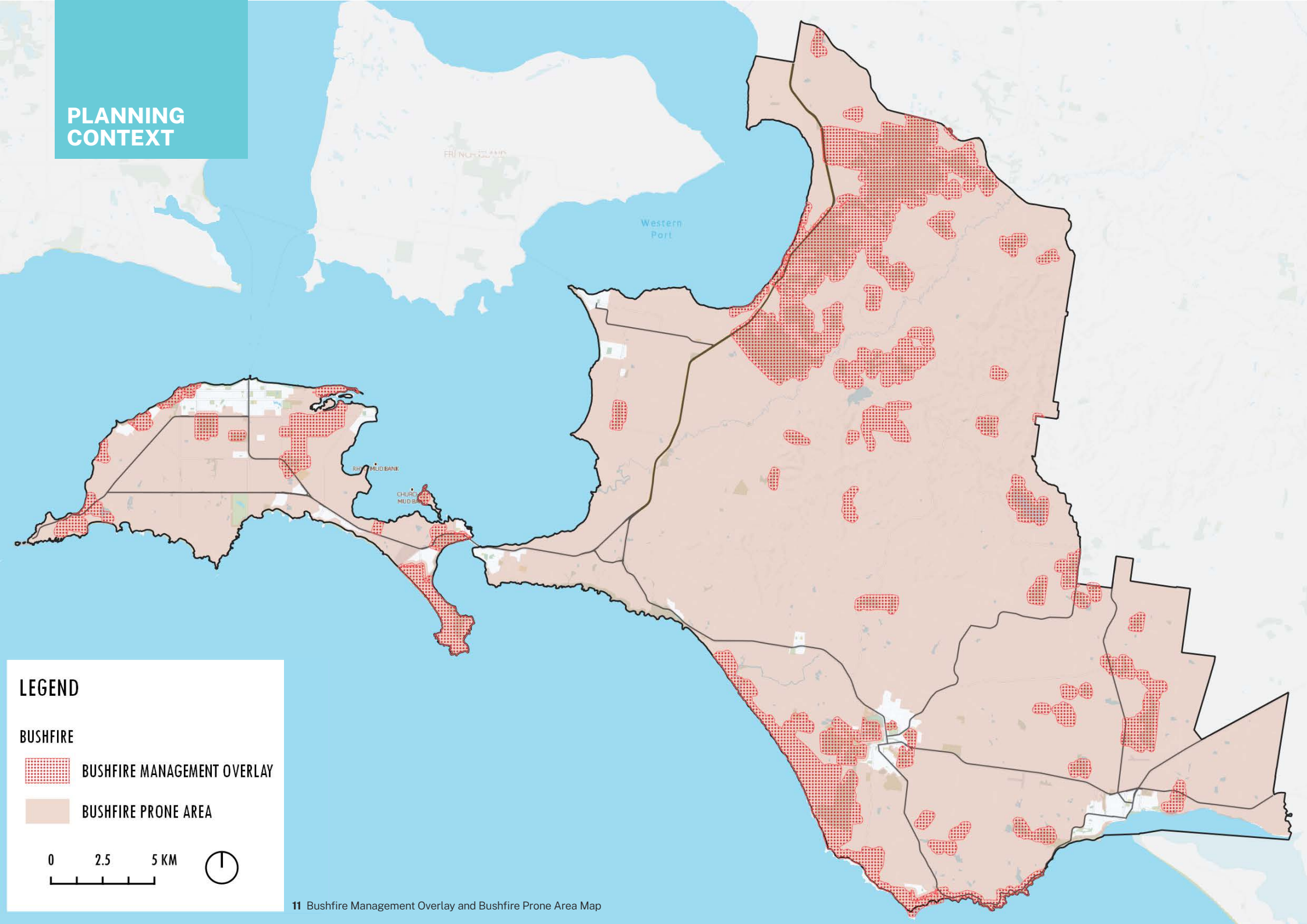
LEGEND

LAND MANAGEMENT

-  BUSHFIRE MANAGEMENT OVERLAY
-  EROSION MANAGEMENT OVERLAY
-  LAND SUBJECT TO INUNDATION OVERLAY



PLANNING CONTEXT



LEGEND

BUSHFIRE

 BUSHFIRE MANAGEMENT OVERLAY

 BUSHFIRE PRONE AREA

0 2.5 5 KM



2.3 Neighbourhood Character Policy

Key Changes to Neighbourhood Character

The framework for assessing neighbourhood character is set out by the Department of Transport and Planning (DTP).

Neighbourhood Character Assessment

The definition and assessment of neighbourhood character has been updated in Planning Practice Note 43. A qualitative assessment is used to assist with identifying features and characteristics of the neighbourhood character of an area. The assessment takes into account elements of the public and private realms which has informed the assessment of the existing neighbourhood character, as well as the development of preferred character statements and design guidelines in Section 5 of this Study.

Updates to Victorian Planning Provisions

In 2013, Amendment V8 introduced new residential zones into the Victorian Planning Provisions. The new zones support a range of housing densities and cater to changing needs of households and allow for local variations to residential development in the form of residential zone schedules to protect local neighbourhood character.

Planning Practice Note 90 highlights the interrelationship between a Housing Strategy and Neighbourhood Character Study. It introduced the concepts of minimal, incremental and substantial change areas, when planning for housing change.

The identification of character types and precincts in this Neighbourhood Character Study will also inform and guide the location of likely housing change areas.

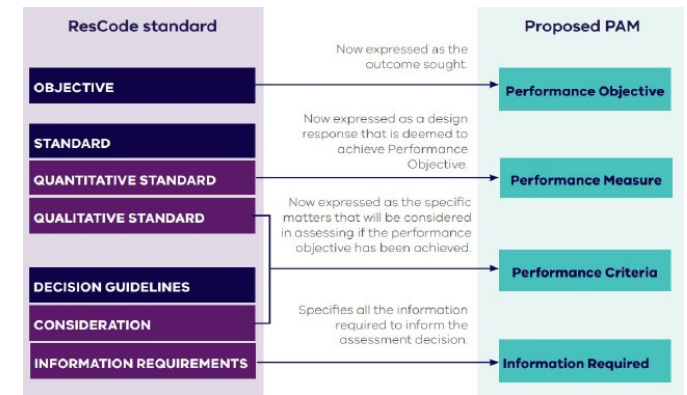
Assessment of Neighbourhood Character through ResCode

The operation of assessment provisions in ResCode are currently undergoing a process of reform under the State Government. Clauses 54 and 55 provide Council with a template to assess applications for residential development that require a planning permit. Updates to ResCode include the introduction of a new standard for assessing neighbourhood character.

Proposed ResCode Reforms

DTP have recently consulted with stakeholders including Councils in relation to the improvement and performance of the existing ResCode assessment at Clause 54 and Clause 55 of the Victorian Planning Provisions.

Key changes include the introduction of a Performance Assessment Module (PAM) which features the components outlined in Figure 12. Notably, providing a head of power for zone schedules to specify performance measures for Neighbourhood Character (A1 & B1) and Detailed Design (A19 & B31) is proposed. It is not yet clear or been determined how performance measures should be written for these standards.



12 Proposed ResCode Changes (DTP, 2021)

Planning Practice Notes

This section summarises the relevant Planning Practice Notes (PPN). The PPNs define what is meant by neighbourhood character and inform the neighbourhood character methodology outlined in Section 7 of this Study.

Practice Note 43 - Understanding Neighbourhood Character (DTP, 2018)

Planning Practice Note 43 provides guidance for applicants, the community and Councils about:

- Understanding what is meant by neighbourhood character; and
- Preparing or assessing a permit application for a residential development.

The PPN43 details the key attributes that cumulatively contribute to character. Importantly, PPN43 establishes that neighbourhood character is considered to be the cumulative impact of attributes in both the public and private realms. It is the relationship between these attributes, and how they physically appear on the ground, that is the most important consideration for neighbourhood character.

Practice Note 90 - Planning for Housing (DTP, 2019)

Planning Practice Note 90 provides information and guidance about how to plan for housing growth and protect neighbourhood character.

Key points relevant to this Study include:

- Respecting character does not mean preventing change. In simple terms, respect for the character of a neighbourhood means that development should be designed in response to its context.

This Study will identify qualities of the public and private realm that contribute to neighbourhood character in Bass Coast Shire.



13 Residential streetscape - Inverloch

Practice Note 91 – Using Residential Zones (DTP, 2019)

Planning Practice Note 91 provides information and guidance about the use of residential zones in addition to the local policies and overlays to implement strategic work and how best to make use of the key features of the residential zones.

Key points relevant to this Study include:

- Rather than specifying preferred neighbourhood character statements in local planning policy, objectives can be specified in a schedule to a residential zone to implement the preferred neighbourhood character.

Key findings of this Study will consider how the existing zone schedules can be better utilised to protect and enhance neighbourhood character in Bass Coast Shire.

Victoria's Housing Statement

The following section provides an overview of the impact of the Victoria's Housing Statement and reforms to policy which seek to address issues of housing supply and affordability. Specifically, Amendment VC242 and VC243 came into effect during stage 4 of this Project, gazetted on the 20th of September 2023.

Amendment VC242

A major change has been introduced to all Victorian Planning Schemes via Amendment VC242 following the release of Victoria's Housing Statement (22 September 2023). Amendment VC242 is required to facilitate development that provide a significant level of housing, improving housing choice and affordability.

Specific implications of Amendment VC242

Essentially, Amendment VC242 introduces two new controls into Planning Schemes:

- Clause 53.22 (Significant Economic Development)
- Clause 53.23 (Significant Residential Development with Affordable Housing)

These new planning pathways are voluntary and do not apply to current/live applications.

In summary, these changes seek to provide a facilitated assessment process for significant development which can have an immediate and meaningful effect on addressing current housing and economic issues.

Amendment VC243

A further change has been introduced via Amendment VC243 which is required to support the delivery of housing in Victoria.

Amendment VC243 seeks to:

- Codify residential development standards;
- Implement the Future Homes project across the State;
- Remove permit requirements for single dwellings on lots of 300 square metres or more; and
- Introduce VicSmart permits for single dwellings on lots less than 300 square metres.

Implications of Amendment VC243

Codifying residential development standards

The codification of residential development standards relates to those at Clause 54 (one dwelling on a lot) and Clause 55 (two or more dwellings on a lot) of the Planning Scheme.

This process seeks to create a more certain planning permit process, reducing potential barriers to swift approvals and clarifying how the standards are to be met.

Future Homes

Amendment VC243 introduces a new General Requirement and Performance Standard at Clause 53.24 of the Scheme in respect to the Future Homes initiative.

Clause 53.24 seeks to facilitate apartments developments that:

- Incorporate exemplar designs approved under the Future Homes project;
- Increase the density and diversity of housing to respond to Victoria's population growth;
- Are exemplary in their design, liveability and sustainability.

Clause 53.24 will apply to any application under the General Residential Zone (GRZ) to construct two or more dwellings on a lot provided:

- The development is an apartment development;
- Design of the apartment development must use a licensed exemplar design approved under the Future Homes project overseen by the DTP;
- The land is within 800 metres of a railway station or an activity centre;
- The land is not within a Heritage Overlay or Neighbourhood Character Overlay.

Removal of the requirement for planning permission for a single dwelling on a lot over 300 square metres

Amendment VC243 removes from the GRZ, NRZ and TZ, the ability to specify in the schedule to those zones that planning permission is required to construct or extend a single dwelling on a lot (or construct or extend a fence within 3 metres of a street) on a lot of 300 square metres or more.

Effectively, there is no longer a requirement to obtain a planning permit to construct a single dwelling on a lot over 300 square metres unless this a requirement specified under other provisions of the Scheme ie. an Overlay.

Introduction of VicSmart permits for single dwellings on lots less than 300 square metres

By making applications to construct or extend a single dwelling on a lot of less than 300 square metres appropriate to pursue via the VicSmart pathway, this will reduce the administrative cost and resources for the responsible authority, allowing planners to focus on assessing larger and more complex proposals.

Granny Flat Permit Exemption

As part of the Victorian Housing Statement, the State Government has also flagged the intention to allow the construction of 'granny flats' of 60 square metres or less in size without needing a planning permit as well as additional permit exemptions for outbuildings.

These have not come into effect yet and no information has been released as to how they will be applied.

However, the right to build secondary homes or granny flats on residential properties without a planning permit may impact preferred neighbourhood character.

2.4 Strategic Documents

Key Findings

The following relevant state/regional and local policies were reviewed as part of the Bass Coast Shire Neighbourhood Character Study Background Report.

Reviewed Documents

State/Regional

- Plan Melbourne 2017-2050
- Victoria's Marine and Coastal Policy 2020
- Siting and Design Guidelines for Structures on the Victorian Coast 2020
- Gippsland Regional Growth Plan, 2014

Local

- Design and Siting Guidelines for Coastal and Hinterland Areas, 1999
- Phillip Island and San Remo Design Framework 2003
- San Remo, Newhaven and Cape Woolamai Structure Plan 2010
- Cowes, Silverleaves, Ventnor and Wimbleton Heights Structure Plan, 2010
- Inverloch Design Framework 2011
- Bass Coast Strategic Coastal Planning Framework 2011
- Guidelines for building in mainland small coastal towns and Phillip Island small townships 2015
- Cowes Activity Centre Plan 2015
- Wonthaggi Structure Plan 2018 & Dalyston Structure Plan 2018
- Wonthaggi Activity Centre Plan 2021
- Bass Coast Township Character Assessment, 2021
- Bass Coast Landscape Assessment Review, Volume 1, February 2022
- Bass Coast Landscape Assessment Review, Volume 2, August 2021



14 Example state/regional and local policies reviewed

Distinctive Areas and Landscapes Process (DALs)

In October 2019, the Victorian Government, pursuant to section 46AO(1) of the Planning and Government Act 1987 and on the recommendation of the Minister for Planning, declared Bass Coast a 'distinctive area and landscape' (DAL) in order to protect the environment, landscape and lifestyle of the region.

At this point in time, the Department of Transport and Planning (DTP) is currently finalising the draft Statement of Planning Policy (SPP) for the area. The Draft SPP is a framework to guide the future use and development of land within the declared area.

The draft Bass Coast SPP was developed in collaboration with Bass Coast Shire Council, the Bunurong Land Council Aboriginal Corporation (BLCAC) and relevant government agencies and authorities.

The draft Bass Coast SPP and proposed landscape controls were publicly consulted on from 3 March to 29 April 2022. These documents and all written submissions were referred by the former Minister for Planning to the Distinctive Areas and Landscapes Standing Advisory Committee (DALsAC) on 26 October 2022 for independent advice. The DALsAC hearing process concluded on 27 April 2023. The Minister for Planning is yet to release the findings and recommendations report.

The DAL's process involved a township and landscape character assessment of Bass Coast Shire. This Neighbourhood Character Study involves a finer grain assessment of character on a neighbourhood level and therefore will inform the implementation of specific neighbourhood character controls.

This Neighbourhood Character Study will need to respond to and be consistent with the Minister's final considerations and recommendations.

3.0 Engagement

3.1 Summary of Engagement: Phase 1

This section provides a summary of Phase 1 of community engagement. This first phase of engagement ran from the 17th of August to the 18th of September 2022.

The purpose of this phase was to understand key values held by the Bass Coast Shire community about their local neighbourhoods and key threats to neighbourhood character. It also sought to educate the community about the role of neighbourhood character, the Study and the strategic process.

Phase 1 of the engagement included a range of consultations and promotional touch points. Consultation activities included:

- Community information sessions
- Interactive feedback map
- Community feedback survey
- Targeted stakeholder engagement

Promotional activities included:

- Development of 2 x project animated explainer videos to help communicate and launch the project
- Social media promotion
- Media release and advertising in news papers

A total of 346 individual written responses and 1,557 pieces of unique feedback were received. A summary of findings is provided in this section however more information is provided in the Engagement Summary Report prepared by Cofutures which accompanies this Study.

Phase 1 of consultation identified the following 10 threats to character:

1. Subdivision into smaller lots
2. Lack of supporting infrastructure
3. No space for gardens around houses
4. Dominant built form
5. Development not respecting wildlife
6. Suburban style development
7. Built form not in keeping w/landscape
8. Views and natural landscape
9. Tree removal/vegetation loss
10. High density development

The most valued characteristics that were identified by the community were:



Coastal / small village feel

The small village feel and coastal context of townships across Bass Coast is highly valued. It's what makes the area unique, and attracts people to live, work and visit.



Gardens, vegetation & trees

Space for gardenings, planting of vegetation and trees frequently reoccurred as an important characteristic of Bass Coast neighbourhoods.



The natural environment

Respecting, protecting and enhancing the natural environment is Bass Coast was a key priority and valued characteristic.



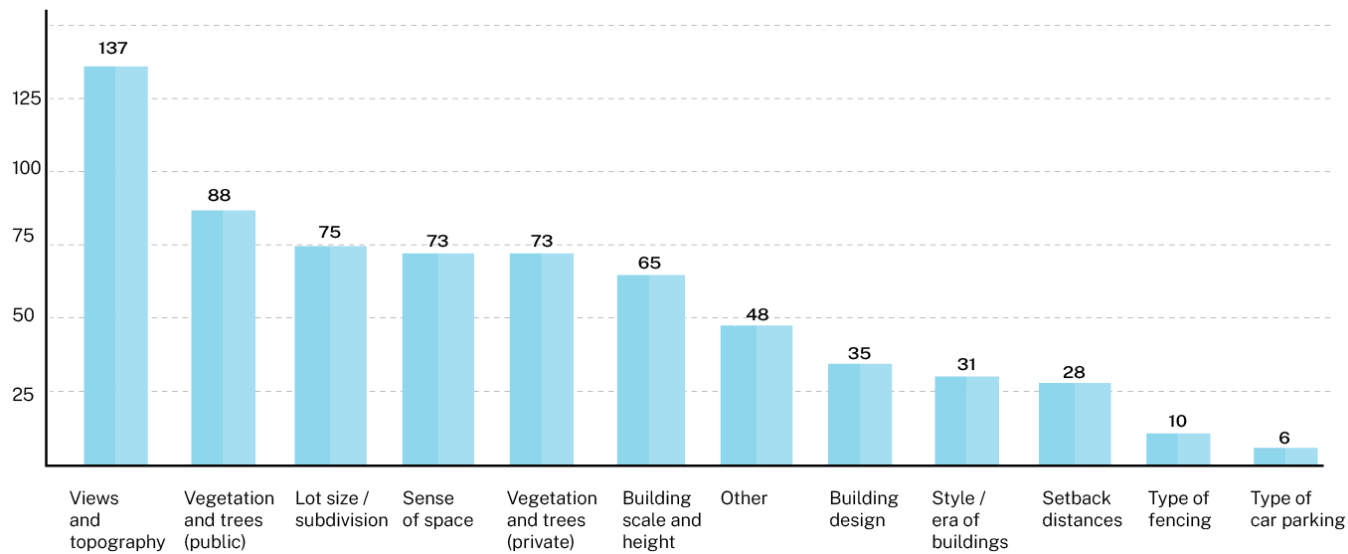
Sense of space

Having a sense of space around buildings and from neighbours was an important characteristic for many. This sense of space extends to the broader context too.

ENGAGEMENT

The following attributes which make up neighbourhoods were found to make Bass Coast a unique places. The data shown in Figure 13 is based on 669 responses.

As highlighted below, the key character attributes of each neighbourhood directly informed the assessment and delineation of each neighbourhood character area and sub-typology outlined in Section 6.



15 Bass Coast Unique Attributes



16 Community information session



17 Community information session

3.2 Summary of Engagement: Phase 2

The purpose of the second and final phase of community engagement, was to seek feedback on the Draft Study prepared after first consultation phase and test findings with the community on aspects including:

- Identified Character Areas
- Character Area boundaries
- Preferred Character Statements
- Preferred Character Objectives
- Design Guidelines

The second phase of engagement took place across February-March 2024, after the Statement of Planning Policy had been finalised. It also focused on gathering feedback about Council’s Housing Strategy and Residential Canopy Cover Improvement Strategy.

Alongside a number of a promotional activities, consultation activities for the second consultation phase included:

- 11 x community information sessions
- PolicyScape Online Mapping Tool
- Community feedback survey
- Submissions form
- Targeted stakeholder engagement with key stakeholders and the Small Coastal Township Alliance

Community information sessions

Eleven community information sessions were run throughout February and March 2024, at various public locations across Bass Coast.

These sessions provided local residents and stakeholders the opportunity to engage with the project in a face-to-face environment. These sessions sought to introduce the key concepts of the draft Neighbourhood Character Study and the Housing Strategy to enable the community to chat with the project team, ask questions and provide verbal and written feedback.

Location	Time	Date	No.
Wonthaggi Golf club	7am-9am	28th Feb	N/A
Apex Park Wonthaggi	2pm-4pm	8 Mar	20
Corinella Market	9am-1pm	9 Mar	50
Cowes Twilight Market	2pm-4pm	9 Mar	10
Cape Paterson	10am-12pm	10 Mar	30
Graydens Reserve	2pm-4pm	13 Mar	10
Inverloch Market	8am-12pm	16 Mar	50
Grantville	12pm-2pm	19 Mar	30
Berninneit Cowes	2pm-4pm	20 Mar	10
Inverloch Hub	10am-12pm	21 Mar	20
Kilcunda	1pm-3pm	21 Mar	20
Total estimated attendance:			250

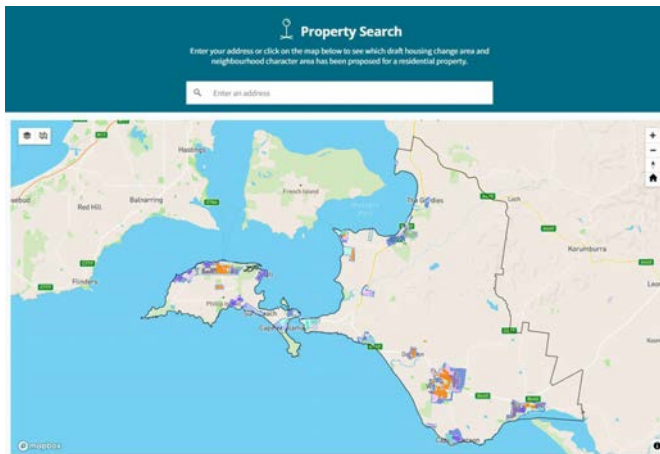
PolicyScape Tool and Survey

An online interactive mapping tool ‘PolicyScape’ was used for this second phase of engagement. The platform provided a range of resources to support the community in understanding more about the Draft Study, including:

- Information about the project, including a copy of the Draft Neighbourhood Character Study;
- Draft Neighbourhood Character Study Mapping which allowed visitors and residents to view character area boundaries and against housing change areas across the Shire;
- Property Search Tool to identify which character and change area was proposed for a specific property address;
- Feedback Form to provide feedback on the;
 - Character Areas and boundaries
 - Preferred Character Statement
 - Neighbourhood Character Objectives and Design Guidelines; and
 - Overall Draft Neighbourhood Character Study.

The PolicyScape website for the project continues to be accessible via the Council’s Engage Page. The survey component of the Property Search Tool was available for the duration of the Phase 2 Consultation period online and in hard copy at the community information sessions.

ENGAGEMENT



18 PolicyScope Platform -Property Search and Feedback Form



19 Summary of Feedback

Summary of Feedback - NCS

As shown in Figure 19, a majority of the community strongly supports the neighbourhood character precinct profiles for their neighbourhood character precinct. Each piece of community feedback provided specific and detailed information.

Recommendations for changes to the Draft Study generally related to the designation of Character Area boundaries and minor updates to design guidelines to further consider certain themes/character attributes.

Overall, feedback on the Draft Study related to a range of themes including:

1. Environment, vegetation and wildlife
2. Development and density
3. Township identity
4. Building scale and height

5. Lot size and subdivision
6. Movement, access and connectivity
7. Building style and materials
8. Services and Infrastructure

This Study was updated accordingly, based on the outcomes and recommendations of the second phase of engagement.

Overall, community engagement has played a crucial role in informing this Study. Input from the community regarding what they value most about their neighbourhoods and how they would like to see new development managed has directed informed the preparation of this Neighbourhood Character Study.

426

Total unique engagement across Stage 2

20 Total participation



117
Survey responses



47
Written submissions



250
Information session attendees



12
Stakeholder meeting attendees



150+
Video views



1,805
Website visits



1,218
Document downloads

4.0 Key Issues and Threats

4.1 Overview

In order to appropriately determine the future planning provisions for this Neighbourhood Character Study (as part of future strategic work), the key character issues and threats applicable to Bass Coast Shire need to be considered.

These issues and threats summarised below, and are based on the survey findings of the project team, initial consultation with the community and working groups with Council's planning officers.

The following themes have been identified as the key issues and threats:

- Interrupted coastal views
- Subdivision
- Contemporary infill development
- Dominant fencing styles
- Large scale development - Retirement villages and Aged care
- Inconsistent infrastructure upgrades
- Loss of vegetation and landscaping
- Inconsistent siting and scale
- Dominant car access and storage
- Inconsistent colours and materials

The following section provides an overview of each of these issues and threats and identifies areas and key locations which are affected by these themes.



4.2 Interrupted Coastal Views

Shared views to and from the coast and across the landscape are a highly valued in Bass Coast. A significant element of character across Bass Coast is that many residential areas are located along the foreshore and feature undulating topography, which affords picturesque views of the Bay or Ocean, surrounding rural landscapes and vegetated areas. An important consideration for new development is to ensure it is not visually prominent from the public realm especially the coast and hinterland. Also to ensure new built form does not visually penetrate existing viewlines to the coast.

DDO1, which covers majority of streetscapes along the foreshore, manages the reasonable and practical protection of shared viewlines. However, DDO1 does not contain specific built form requirements, including considerations for building heights, setbacks and the general visual bulk of built form. An absence of adequate built form requirements and the operation of a blanket permit trigger for any buildings over a particular building height, has facilitated the emergence of sub-par built form outcomes, especially in locations close to the foreshore. Whilst dwellings are retained within a building envelope, they often feature a large scale dwelling accompanied by a flat roof. In effect, the current application of DDO1 has failed to successfully mitigate the following issues.

Also, contemporary infill development typically utilises a 'cut' and 'fill' method to accommodate volume builds which do not effectively respond to the slope of the land. Although this allows for the continuation of shared views, it disrupts the street rhythm and reduces vegetation retention.

Analysis Overview

Locations affected

- Areas located along or within close proximity to the foreshore.
- Areas located on steep hills or higher grounds.
- Areas with long ranging views to Bass Coast coastline or bays, surrounding headlands, vegetated areas, tree-canopy rolling hills, etc.
- However it is noted that new development may disrupt viewlines in all localities characterised by undulating topography.

Other considerations

- Development of aged care and retirement facilities within residential areas.
- Choice of housing typologies.

Considerations

Consider updates to or removal of DDO1

Consider guidelines for the identification of and reasonable protection of shared viewlines, including:

- Upper level setbacks
- Front and side setbacks at ground level
- Siting
- Building bulk

Consider objectives and guidelines to ensure new development does not visually penetrate tree canopies and/or ridgelines, where this is a key feature of an areas character.



21 Dwellings sited and developed to maximise coastal views -Ventnor

4.3 Subdivision

Majority of residential areas in Bass Coast feature lots of 500 square metres and over, providing for a sense of spaciousness and separation between built form. However, there is a growing trend of the more generously sized lots being subdivided and redeveloped.

The subdivision of lots is particularly prevalent in localities that are not zoned as LDRZ or covered by DDO's which specify a minimum lot size. Also, residential areas near coastal edges and adjacent to rural landscapes present the potential for greenfield development and housing estates which often default to replicating metropolitan lot sizes and layouts, for example Heritage Bay.

Subdivision is often associated with mass vegetation removal in order to maximise the development yield. The subdivision of lots has a direct impact on neighbourhood character due to:

- Vegetation clearing required to facilitate larger scale development
- Loss of remnant native vegetation/canopy trees
- Minimal provision of space for deep soil planting and canopy trees
- Reduced setbacks and building separation
- Demolition of existing low density, detached dwellings for larger-scale development

- Change in materiality - use of more Contemporary materials (concrete, render, etc)
- Introduction of formalised common driveways
- Dominant fencing styles

The subdivision of lots is a key threat to neighbourhood character in Bass Coast, alongside the resulting incremental change in the type of housing stock as well as ineffective integration of the natural and urban environments. Subdivision must be done in a manner that is contextually sensitive to the distinct neighbourhood character of each residential area in Bass Coast.

Analysis Overview

Locations affected

- Areas not covered by a DDO or LDRZ which specify minimum lot size.
- Areas located along or within close proximity to the foreshore e.g. San Remo, Sunset Strip, Cowes, Grantville, Corinella etc.
- Residentially zoned land near coastal edges and adjacent to rural landscapes e.g. new housing estate developments emerging in Dalyston, Wonthaggi, Coronet Bay etc.

Other considerations

- Lack of statutory protection for vegetation.
- Future demographic considerations.
- Choice of housing typologies.

Considerations

Consider guidelines that minimise the impact of subdivision on neighbourhood character related to:

- Significant vegetation
- Setbacks
- Location of housing styles
- Materials
- Driveways

Consideration of additional planning controls to be used to avoid vegetation loss in certain areas and to ensure that any proposed removal vegetation is in keeping with the character of a streetscape/area.



22 Example of greenfield development and insensitive subdivision patterns - Dalyston

4.4 Contemporary Infill Development

Contemporary infill buildings are prominent across much of Bass Coast. These new developments, which feature architectural styles and material palettes that can contrast with existing and older housing stock, have contributed to a change in character across the study area. In Bass Coast, this type of development has typically occurred in the form of:

- Replacement houses
- Subdivision of sites
- Additional dwellings or extensions located at the rear of existing lots
- Redevelopment of sites to accommodate larger residential developments
- Duplex or side-by-side housing typologies

In Bass Coast, new style holiday houses and conversions are becoming more prevalent within residential areas in close proximity to the foreshore. These larger scale Contemporary developments typically have maximised site coverage, lavish balconies, minimal setbacks and minimal vegetation retention.

This trend is seeing the demolition of modest style scale beach shacks and the incremental loss of character along many foreshore areas.

It should also be noted that in Bass Coast, a planning permit is generally not required to construct a single dwelling if the lot is greater than 300 square metres in area and in the General Residential Zone or Residential Growth Zone.

The quality of design of infill buildings is varied across Bass Coast. Some are respectful of the existing and valued character of a precinct, while others fail to reflect their location and comprise features that disregard the character of existing areas. Issues associated with Contemporary infill include:

- Reduced setbacks and building separation
- Vegetation clearing to enable larger scale development
- Loss of remnant native vegetation/canopy trees
- Lowered instances of tree retention
- Minimal provision of space for deep soil planting and canopy trees
- Demolition of existing low density, detached dwellings for larger-scale development
- Change in materiality - use of more Contemporary materials (concrete, render, etc)
- Introduction of formalised common driveways

The concept of character does not seek to prevent infill development from occurring; rather it aims to ensure that new buildings reflect their location and respect the surrounding built form in a Contemporary way.

A Contemporary development could successfully respond to its location by reflecting the form and siting of surrounding dwellings.



23 New builds with reduced setbacks and building separation - San Remo

KEY ISSUES & THREATS

Analysis Overview

Locations affected

- Wonthaggi is facing increased development pressure, as it contains the regional activity centre for Bass Coast and surrounding areas.
- Cowes, San Remo, Inverloch and Grantville are also experiencing growth pressure as they contain larger activity centres and provide high levels of local employment, services, facilities and public transport.
- Areas located on steep hills or higher grounds are seeing new volume builds which reflect a 'cut' and 'fill' approach, rather than responding to the slope of the land e.g. San Remo, Kilcunda, Grantville & Corinella
- Areas located along or within close proximity to the foreshore are seeing the emergence of larger scale residential development and holiday conversions e.g. Smiths Beach, Ventnor, Corinella, Harmers Haven, Sunderland Bay & Surf Beach.
- Other areas including Dalyston and Newhaven on the coastal fringe and adjacent to rural landscapes are experiencing infill type development constructed by 'volume' builder construction companies.

Other considerations

- Lack of statutory protection for vegetation.
- Future demographic considerations.
- Choice of housing typologies.

Considerations

Consider the extent to which design objectives can increase setbacks and reduce the bulk and scale of built form, by:

- Reflect minimum side boundary setbacks and minimum landscaping requirements in design guidelines.
- Restricting the percentage of the site covered by impermeable surfaces (where relevant).
- Strengthen guidelines in regards to deep soil areas and canopy tree/significant vegetation retention in front and rear yards, especially native vegetation.
- Reflect typical siting in design guidelines.



24 Large scale residential development - San Remo



25 New style holiday homes emerging - Cape Woolamai

4.5 Dominant Fencing Styles

The treatment of front boundaries varies throughout Bass Coast. Many residential areas are characterised by no front fencing or low fences that allow views to the front gardens and coastal vegetation whilst other areas are seeing the introduction of more dominant fencing styles which block views to front gardens and create inconsistent walls along the street.

Some dwellings along the foreshore and heavily vegetated areas use landscaping to separate the public and private realms. The combined effect of these boundary characteristics is open streetscapes and coastal town 'feel' where fences are a less prominent feature.

As the majority of areas within Bass Coast are characterised by no or low front fencing, the introduction of more dominant fencing styles that block views to gardens and dwellings would directly impact existing character.

High, solid fences undermine the blending of coastal vegetation in the public and private realm, which is a key characteristic of Bass Coast.

However, more dominant fencing styles appear in areas under pressure for redevelopment, larger scaled subdivisions, as well as areas with frontages to major roads or smaller roads of high usage.

The threat of the emergence of high, solid fencing is heightened by the current lack of controls within the Planning Scheme to guide fencing styles. As a result, design guidelines are often being added to land titles post permit through the use of restrictive covenants. As mentioned, this is particularly an issue in larger scaled subdivisions.



27 Residential streetscape with no front fencing - Rhyll



26 Dwelling with high solid front fencing - Dalyston

KEY ISSUES & THREATS

Analysis Overview

Locations affected

- Areas under pressure for redevelopment, including areas experiencing larger scaled subdivisions and housing estate developments e.g. Wonthaggi, Dalyston, Newhaven
- Areas with frontages to main roads.
- However it is noted that tall or solid fencing may impact the character in all localities.

Other considerations

- A front fence includes any fence within 3 metres of the street and should not exceed the maximum fence height.
- Noise impacts and privacy concerns from the public realm.
- Security considerations.

Considerations

- Consider objectives that:
 - Encourage fencing that reflects the typical styles in the area.
 - Encourage a lack of front fencing in areas where this is common.
 - Discourage the development of high, solid fences that limit visual permeability.
 - Consider only allowing higher front fences on main roads where there is particular need to provide privacy and mitigate against noise in the front setback.
 - Consider guidelines that locate front fencing within a site boundary to allow space for plantings in front of the fence.
- Resist pressure from applications to incorporate high front fences in order to utilise the area as secluded private open space.
- No permit is required for front fencing for single dwellings.



28 Visual permeable, rural-style front fencing - Dalyston

4.6 Large Scale Development - Retirement Villages, Aged Care and Future Homes

There is an increasing pressure for alternate forms of residential and mixed-use development throughout Bass Coast, especially in major activity centres. This type of development includes:

- Retirement and lifestyle villages
- Aged care facilities

Clause 53.17 Residential Aged Care facility allows for an aged care facility to have a maximum building height of 16 metres on land located within the General Residential Zone (GRZ), Mixed Use Zone (MUZ), Neighbourhood Residential Zone (NRZ), Residential Growth Zone (RGZ) or Township Zone (TZ).

The GRZ is the predominant residential zone of Bass Coast, which has a maximum building height of 11 metres. The increasing pressure for these services to be developed in residential areas covered by the following zones, may impact upon existing character in Bass Coast.

These styles of residential development are often a greater scale than surrounding residential dwellings and often rely on repetitive building styles and materials as well as solid walls and fencing, which can impact upon the rhythm of existing streets. Considering the sheer number of dwellings that need to be accommodated on any one site, these larger scale residential developments also inhibit the ability to provide for the planting of canopy trees or the retention of significant vegetation, directly impacting upon neighbourhood character.

Also, the application of Clause 53.24 (Future Homes) may also impact existing neighbourhood character in Bass Coast. Under Clause 53.24, the following changes now apply:

- A permit is not required for single dwellings on lots of 300 square metres or more
- The introduction of VicSmart permits for single dwellings on lots less than 300 square metres
- An application is exempt from any application requirement in the GRZ or Schedule to the GRZ
- An application is exempt from the requirements of ResCode Standards at Clause 55 and 58.

While this Clause seeks to promote increased housing affordability, diversity and choice, this may facilitate larger scale residential developments and built form outcomes that are inconsistent with the prevailing character of an area.

Analysis Overview

Locations affected

- Localities covered by GRZ e.g. Coronet Bay, San Remo, Rhyll, Cowes, Cape Woolamai, Wonthaggi, Inverloch.
- Areas under pressure for redevelopment (e.g. areas with lower quality housing stock, in close proximity to activity centres or foreshore/beach areas, and areas prone to site consolidation e.g. residential land on coastal fringes and adjacent to rural landscapes).

Other considerations

- Future demographic considerations, including an ageing population, may require aged care or retirement facilities in the future.
- Choice of housing typologies.



29 Retirement village-Cowes

4.7 Inconsistent Infrastructure Upgrades

The layout and presentation of streets and roads can have a major influence on neighbourhood character.

While the safe and orderly function of the transport network is critical, it is important to recognise that in areas where landscaping is the predominant and defining feature of the streetscape, overly engineered outcomes can have a significant impact on character.

In these locations, nature strips are often generously grassed and are in effect an extension of front gardens. Drainage is often managed through grassed swales, and there are no or limited footpaths, kerb and channel treatments. These features are what reinforce the difference between coastal and country towns and more intensely developed urban settlements.

Future infrastructure upgrades by Council should be done in consideration of the preferred character of the identified neighbourhood precinct.

Analysis Overview

Locations affected

- More established townships and urbanised residential areas which typically feature kerb and channel treatments and concrete crossovers e.g. within parts of Cowes, Wonthaggi, San Remo, Cape Woolamai, Inverloch, Kilcunda.
- Coastal and more rural residential areas which typically feature no footpaths, unsealed roads and grassed swales e.g. within parts of Jam Jerrup, Grantville, Silverleaves, Smiths Beach, Sunset Strip, Rhyll, Ventnor, Inverloch.

Other considerations

- As Council undertakes any future infrastructure upgrades, consideration of the preferred character for the identified neighbourhood area should be given
- Public realm guidelines could be included within any Council streetscape or infrastructure upgrade manual

Considerations

- Any preferred public realm attributes will be reflected in the respective public realm precinct profile/character area guidelines



30 Coastal streetscape with mix of infrastructure including sealed roads and grassed swales -Rhyll



31 Residential streetscape with sealed roads, kerb and channel treatments - Inverloch

4.8 Loss of Vegetation and Landscaping

Vegetation and landscaping are central elements when determining an area's neighbourhood character. This relates specifically to existing vegetation, including:

- The public and private realm
- The landscaping of individual gardens
- The cumulative effect of landscaping across an entire area
- The prevalence of canopy coverage

Across Bass Coast, vegetation is mature and extensive and a defining feature of the Shire. The type of vegetation across the Shire varies according to the differing role it plays in coastal and more established township areas. Vegetation is predominately informally planted with native trees and low lying coastal bush/understorey. There is also however a mix of:

- Formal and informal gardens with exotic vegetation
- Wide grassy lawns or low-level maintenance gardens with limited vegetation

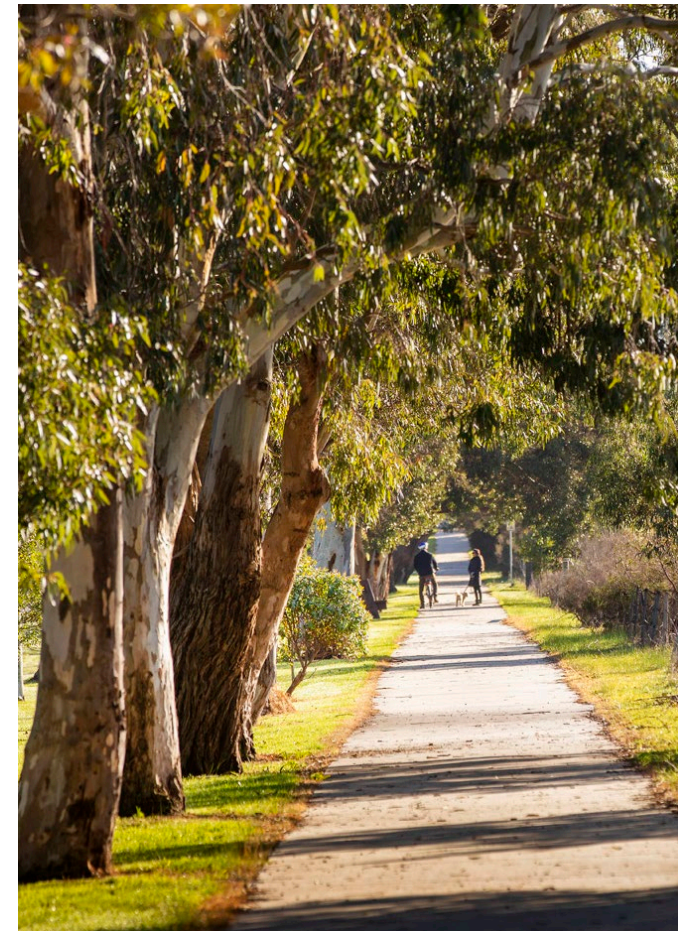
A key threat to Bass Coast's neighbourhood character and the Shire's coastal 'feel' is the loss of vegetation in private gardens, and its replacement with larger developments or non-permeable hard-scaping, such as paving.

Additionally, existing landscape character is undermined by Contemporary infill builds which do not provide adequate garden space for planting of new vegetation, replanting of native coastal species or canopy trees, which require deep soil and space for roots to grow.

The threat of significant vegetation clearing is particularly relevant in Bass Coast due to State-sanctioned permit exemptions within planning controls applying to a large portion of the Shire, which allow as-of-right removal of vegetation for bushfire management and maintenance.

Its important to note that Council's Local Law No. 1 was amended to include protection of significant trees, that are not considered or exempted from planning permit under any provision of the Bass Coast Planning Scheme or bushfire protection measures.

However, as most of Bass Coast is within a designated Bushfire Prone Area (BPA) or covered by the Bushfire Management Overlay (BMO), both the planning and building systems in Bass Coast comprise of State-sanctioned exemptions which override all other planning triggers for the purposes of bushfire protection including vegetation and landscape protection controls. Details of these exemptions and their impact on neighbourhood character are further discussed Section 5.2 of this Study.



32 Heavily vegetated residential streetscape

KEY ISSUES & THREATS

Analysis Overview

Locations affected

- Localities characterised by significant levels of vegetation and under pressure for redevelopment:
 - Coronet Bay
 - San Remo
 - Rhyll
 - Cowes
 - Cape Woolamai
 - Wonthaggi
 - Inverloch
 - Dalyston
 - Newhaven
 - Grantville
 - Kilcunda

Other considerations

- Lack of statutory protection for vegetation.
- Bushfire planning considerations.
- Boundary-to-boundary development limiting the scope for adequate deep soil areas.
- Moonscaping of lots.
- Excessive site coverage.
- Mandatory garden area requirements increase areas for planting on lots greater than 400m², although this does not consider the loss of garden spaces due to paving.

Considerations

- Investigate opportunities to strengthen policy relating to the retention of existing vegetation, by including guidelines which:
 - Strengthen vegetation retention and deep soil areas (where possible).
 - Require more generous side setbacks in heavily vegetated areas to allow for planting of vegetation and canopy trees.
 - Apply site coverage maximums to retain sufficient site area for vegetation, where relevant.



33 Residential dwelling within a vegetated setting - Inverloch



34 Dense native coast shrubs screen dwellings from view - Harmers Haven

4.9 Inconsistent Siting and Scale

The scale and siting of dwellings on their residential lot has a significant influence on the character of a streetscape. Access to significant coastal views is a distinguishing characteristic of Bass Coast. Also, the Shire is characterised by varied topography, ranging from gentle undulating slopes to steep in areas close to the coastline, ridgelines and within heavily vegetated landscapes. Subsequently, dwellings are often built and sited to take advantage of the landscape and to enable significant and long-ranging views to the Bay or Ocean, surrounding headlands, vegetated areas, tree-canopy, rolling hills etc.

In terms of character, it is important that contemporary developments differ in detailed design elements, whilst simultaneously respecting the form, siting, scale and vegetation coverage of existing dwellings in a streetscape or character area. In Bass Coast, it is critical that new development respects existing siting and scale patterns and varying topographic conditions across the Shire. This involves limiting the demolition of existing modest holiday beach shacks and dwellings, and the subsequent development of larger scale Contemporary dwellings. Also, limiting development located on ridgelines and the penetration of built form above tree canopy coverage.

In areas with a consistent neighbourhood character, dwellings will generally follow a typical pattern with the rest of the streetscape and will conform to similar building envelopes.

New developments with substantially reduced setbacks interrupt the established pattern of streets and increases the built form enclosure of the street.

Analysis Overview	
Locations affected	<ul style="list-style-type: none"> • Areas located along or within close proximity to the foreshore. • Areas located on steep hills or higher grounds. • Areas under pressure for redevelopment, subdivision and Contemporary infill development (e.g. areas in close proximity to activity centres, the coastline, coastal fringes and adjacent to rural landscapes) e.g. San Remo, Cowes, Wonthaggi, Inverloch
Other considerations	<ul style="list-style-type: none"> • Redevelopment/extensions of single dwellings into larger scale and medium density housing. • Development of aged care facilities and retirement villages within residential areas. • Within the BMO, replacement or extended dwellings require a Bushfire Management Plan and the creation of a defensible space. As a result, developments characterised by a large building footprint will see high levels of vegetation removal.

Considerations

- Examine best-practice examples of maintaining views between dwellings, planting in rear gardens, creating a sense of spaciousness and streetscape rhythm, by including guidelines that:
 - Encourage upper level setbacks and front and side setbacks at ground level to facilitate the provision of landscaping and significant vegetation.
 - Maintain key siting considerations such as dwelling orientation and side setbacks.
 - Specify preferred roof forms where this is consistent.



35 Beach Shack dwelling - Kilcunda

4.10 Dominant Car Access and Storage

The siting and design of car access and storage has a direct impact on the character of streetscapes. Additional and widened crossovers result in increased hard paving and loss of nature strip planting. A loss of garden space and permeable ground for sustaining vegetation also occurs due to hard paving areas within front setbacks for car parking or other purposes.

Car parking structures vary throughout Bass Coast, and reinforce the difference between coastal, rural and more established residential areas across the Shire. Car parking structures can dominate the frontage of a property in two ways. Firstly, by being located in line with or forward of the dwelling. Secondly, by occupying a large proportion of the frontage, for example by the use of a triple or double garage. Both of these car parking structure types are present in Bass Coast. As a result, streets are less attractive for pedestrians, passive surveillance is reduced, and the positive aspects of neighbourhood character in the streetscape are undermined.

To address this, dominant car parking structures should be discouraged. Guidelines should also seek to minimise the hard surfaces in front setbacks and reduce the crossovers to one per property. Landscaped strips should be encouraged along driveways located along property boundaries. Landscaping works to break up expanses of hard, impervious surfaces, particularly where driveways abut across property boundaries.

Analysis Overview

Locations affected

- Areas under pressure for redevelopment, subdivision and Contemporary infill development (e.g. areas in close proximity to activity centres, the coastline, coastal fringes and adjacent to rural landscapes) e.g. San Remo, Cowes, Wonthaggi, Inverloch.

Other considerations

- Infill of additional dwellings at the rear of the lot.

Considerations

- Where applicable, guidelines should consider:
 - Limit the proportion of the site covered by impermeable surfaces, particularly in front setbacks.
 - Locate garages and carports behind the front facade of the dwelling.
 - Provide only one vehicular crossover per typical site frontage.
 - Laneway access where available/appropriate.



36 Contemporary dwelling with forward, dominant car storage and access- Cape Woolamai (top) and Kilcunda (below)

4.11 Inconsistent Colours and Materials

The consistency of colours and materials is a defining aspect of the character of some areas in Bass Coast. However, the colour palettes and materiality of Contemporary new builds in some areas has caused built form to stand out from their surroundings, rather than blending in within them. Some areas of the Shire have an identified and recognisable character due to the consistency of a neutral colour palette sympathetic to the surrounding landscape, as well as natural building materials and finishes. For example, Silverleaves, Jam Jerrup, Cape Paterson and Surf Beach feature dwellings which predominantly apply a neutral colour palette and natural material finishes which complements Bass Coast’s coastal ‘feel’ and landscaped setting.

The majority of dwellings in the Shire are often characterised by a neutral colours and surface finishes on both external façades and roofs such as cream, brown, greys, greens, and light blue. However, much of the Contemporary development makes use of a grey-based palette, and this exaggerates the contrast in building style and form between new and old. Sometimes, adopting the same (or similar) materials and finishes can be a decisive factor in allowing a Contemporary design to complement, rather than compete, with its surroundings. Whilst DDO1 includes guidelines for the colour and design of buildings, it does not identify specific materials or preferred surface colours for contemporary developments.

Materials applied throughout the Shire are varied, ranging from brick and concrete/render built form outcomes in more established township areas and timber/weatherboard in coastal and semi-rural locations. This Study seeks to clearly identify the areas where maintaining similar or complementary surface finishes is fundamental to the preferred neighbourhood character.

Analysis Overview

Locations affected

- Areas under pressure for redevelopment, subdivision and Contemporary infill development (e.g. areas in close proximity to activity centres, the coastline, coastal fringes and adjacent to rural landscapes) e.g. San Remo, Cowes, Wonthaggi, Inverloch.
- Contemporary development may disrupt the consistency of neutral colours and natural materials applied across most localities.

Other considerations

- Redevelopment/extensions of single detached dwellings into medium density housing.
- Development of aged care facilities and retirement villages within residential areas.
- Sustainability factors ie. ESD principles such as Light Reflectance Value (LRV).

Considerations

- Identify areas in which a specific range of material finishes and colour palette should remain a key part of the preferred future character.



37 Coastal streetscape with neutral colour palette -Sunset Strip



38 Contemporary dwelling featuring varied material finishes -San Remo

5.0 Performance of Existing Settings

5.1 VCAT Cases Summary

The following section provides a summary of specifically selected VCAT cases regarding neighbourhood character and built form across Bass Coast. The cases which addressed issues relating to character and the effectiveness of planning policy in Bass Coast are highlighted in table 2.

Key issues highlighted by the following cases include:

- An identification of the lack of fine grain recognition of the elements that contribute to character or overarching neighbourhood character policy.
- In those townships where character was more defined through the local planning policy framework, this has since either been outdated due to elapse in time or has not been prepared for all areas.
- The interpretation of the relationship between Schedule 1 and Schedule 9 of the Design and Development Overlays (DDO1 and DDO9) and neighbourhood character is variable, with the degree to which each relate to character variably interpreted by all involved. Most recently, the Tribunal (Coleman v Bass Coast SC [2022] VCAT 295) concluded that it was incorrect to apply neighbourhood character policy where a permit is not triggered under the zone.
- It has been observed that the development of large dwellings and substantial renovations with high site coverage, reduced side setbacks, high proportion of hard surfaces and less landscaping is altering the

definition of the existing character of the townships (Ritterman v Bass Coast SC [2020], Lt Corporation Pty Ltd v Bass Coast SC [2020]). Importantly, it is the development of single dwellings rather than multiple dwellings which are altering the elements. Often the development of these dwellings, unless a permit is triggered pursuant to the DDO1 or DDO9, do not require planning permits and hence these elements cannot be considered by Council.

- As an example, the change in character in Surf Beach due to the absence of neighbourhood character policy can be observed by comparing the description of the character between Kasputtis v Bass Coast SC [2010] and Ritterman v Bass Coast SC [2020].
- In the absence of specific guidance on neighbourhood character, housing policy is often relied upon as blunt instruments for density as a means of achieving character. The weight of Clause 16.01-1L (previously Clause 21.06) in determining the appropriateness of a proposal for medium density has been consistently dismissed by the Tribunal.
- Policy contains competing interests for infill development and the retention of character. The desire to retain neighbourhood character competes with the strong emphasis (see Freedom90 Pty Ltd v Bass Coast SC [2010] VCAT 1034) of Policy in providing for a diversity in housing through infill.

Case
Coleman v Bass Coast SC
Meglyn Pty Ltd v Bass Coast SC
Ritterman v Bass Coast SC
Lt Corporation Pty Ltd v Bass Coast SC
Finch & Ors v Bass Coast SC
Kasputtis v Bass Coast SC
Freedom90 Pty Ltd v Bass Coast SC

Table 2 - Reviewed VCAT cases that regard neighbourhood character and built form in Bass Coast

5.2 Gaps in existing controls

Design and Development Overlay (DDO)

A total of 12 DDO's apply to residential areas across Bass Coast. These vary from specific precincts and development sites as well as coastal areas and residential areas with 'environmental value'.

In accordance with Planning Practice Note 91, it is important to note that a DDO is generally used to apply built form controls to developments greater than four storeys. For residential development up to four storeys, a DDO may also apply if built form outcomes sought are substantially different from ResCode and cannot be achieved through variations to residential development standards at Clause 54 and 55.

Design and Development Overlay - Schedule 1 (DDO1)

DDO1, which covers majority of streetscapes along the foreshore, seeks to:

- Protect views from the coast to adjacent residential areas
- Protect views to the coast from adjacent residential areas
- Minimise the impact of development along the coastline
- Protect and enhance the visual amenity and landscape of the coastal area
- Respond to the potential coastal impacts of climate change

However, DDO1 does not contain specific built form requirements, including considerations for building heights, setbacks and the general visual bulk of built form.

An absence of adequate built form requirements and the operation of a blanket permit trigger for any buildings over a particular building height, has facilitated the emergence of sub-par built form outcomes, especially in locations close to the foreshore.

Whilst dwellings are retained within a building envelope, they often feature a large scale dwelling accompanied by a flat roof. In effect, the current application of DDO1 has failed to successfully address these issues.

Design and Development Overlay - Schedule 9 (DDO9)

Informed and developed as an outcome of the *Inverloch Design Framework Final Report (2011)*, DDO9 only applies to a proportion of Inverloch, specifically the western area adjacent to the Coast. DDO9 identifies residential areas with environmental value in Bass Coast, and seeks to:

- Protect environmental assets within residential areas
- Minimise the impact of development on vegetation
- Minimise the impact of development on coastal character
- Protect and enhance the visual amenity and landscape of the residential areas

DDO9 includes few permit requirements for building footprint, site coverage and front fencing which primarily seek to ensure that developments are responsive to existing vegetation and established coastal character of such areas.

As discussed in the section above, the degree to which the design objectives and provisions relate to and have successfully protected and enhanced neighbourhood character has been variably interpreted.

PERFORMANCE OF EXISTING SETTINGS

Significant Landscape Overlay (SLO)

A total of 5 SLO's apply to specific landscape areas within Bass Coast Shire, and include:

- SLO1 - Strzelecki Foothills and Bass Valley
- SLO2 - Phillip Island Western and Southern Coast
- SLO3 - Phillip Island Eastern Coast
- SLO4 - Kilcunda to Inverloch Coast
- SLO5 - Anderson Inlet

These SLO's seek to ensure that proposed buildings are designed to maximise retention of existing vegetation and provide for sufficient planing of new vegetation where possible.

Vegetation Protection Overlay (VPO)

A total of 3 VPO's apply to areas of significant vegetation located across Bass Coast, and include:

- VPO1 - Significant Remnant Vegetation
- VPO2 - Phillip Island
- VPO3 - Inverloch

These VPO's seek to protect and enhance existing indigenous and remnant coastal vegetation across these areas, and include permit requirements for the removal of certain trees and vegetation species.

Considerations and implications

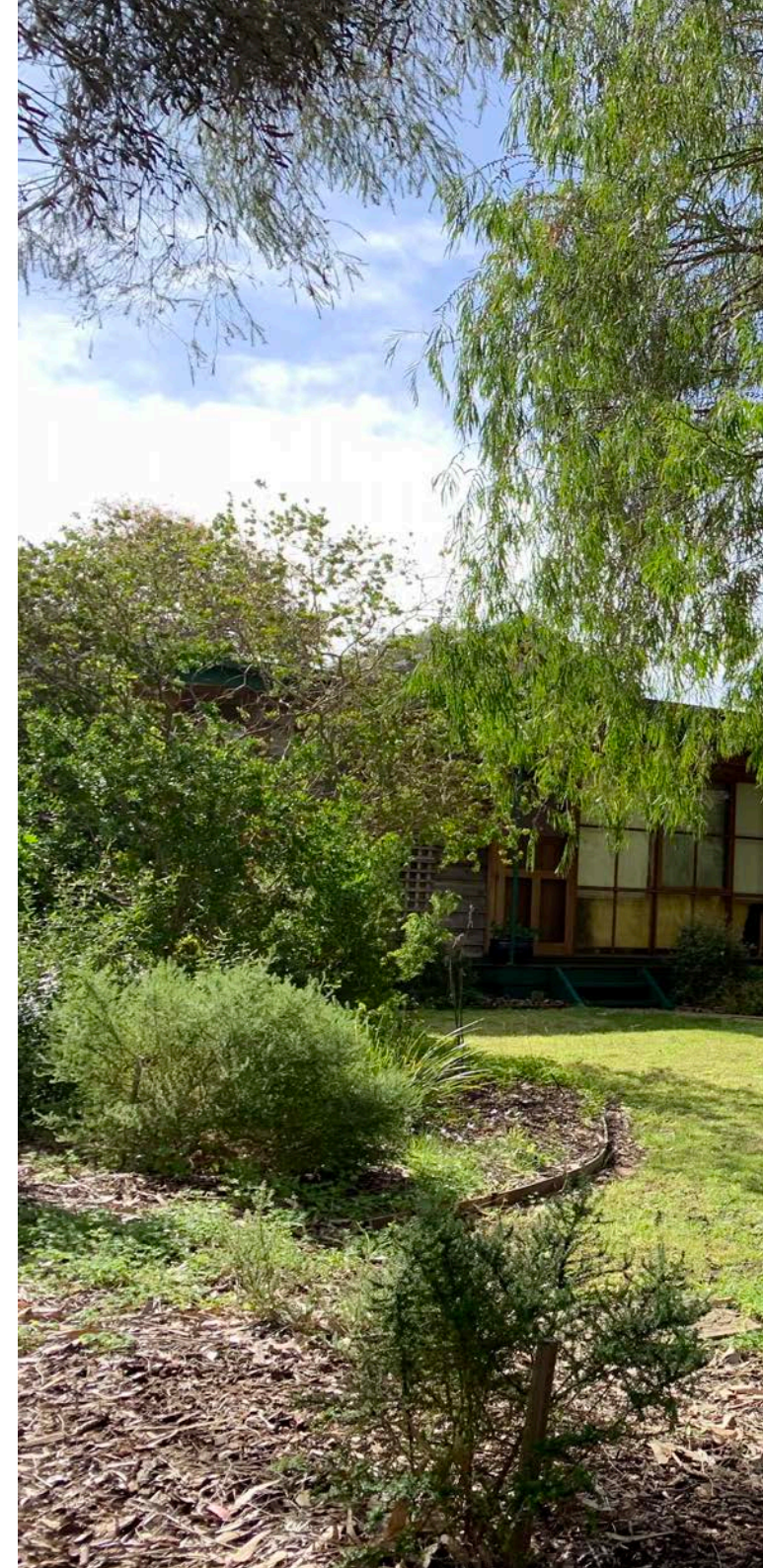
Many residential locations across Bass Coast are not subject to a DDO or SLO; Council's main tools for implementing its Neighbourhood Character Guidelines. At the same time, the broad brush application of DDO1 to foreshore areas has not been effective in preventing sub-par built form outcomes.

Despite the application of SLO's and VPO's, new developments are emerging across Bass Coast which feature large dwellings with high site coverage, reduced side setbacks and less landscaping. Such developments are altering the existing coastal feel and landscape character of residential areas across Bass Coast.

The operation of current controls raises concerns for future residential development and built form elements including inadequate setbacks, excessive visual bulk and limited opportunity for retention of vegetation or replacement landscaping.

This suggests that there is scope to revise existing DDOs and SLOs or implement new controls with guidelines targeted at generating built form outcomes that respond to identified character attributes.

Any new zone provision or overlay proposed will need to consider any existing DDO, SLO or VPO that applies, in part or whole, to a Neighbourhood Character Area.



5.3 Bushfire Management

Bushfire Management Overlay and the Bushfire Prone Area Designation

Much of Bass Coast is a Designated Bushfire Prone Area (BPA) under section 192A of the Building Act 1993 and sections of the Shire are also subject to a Bushfire Management overlay (BMO).

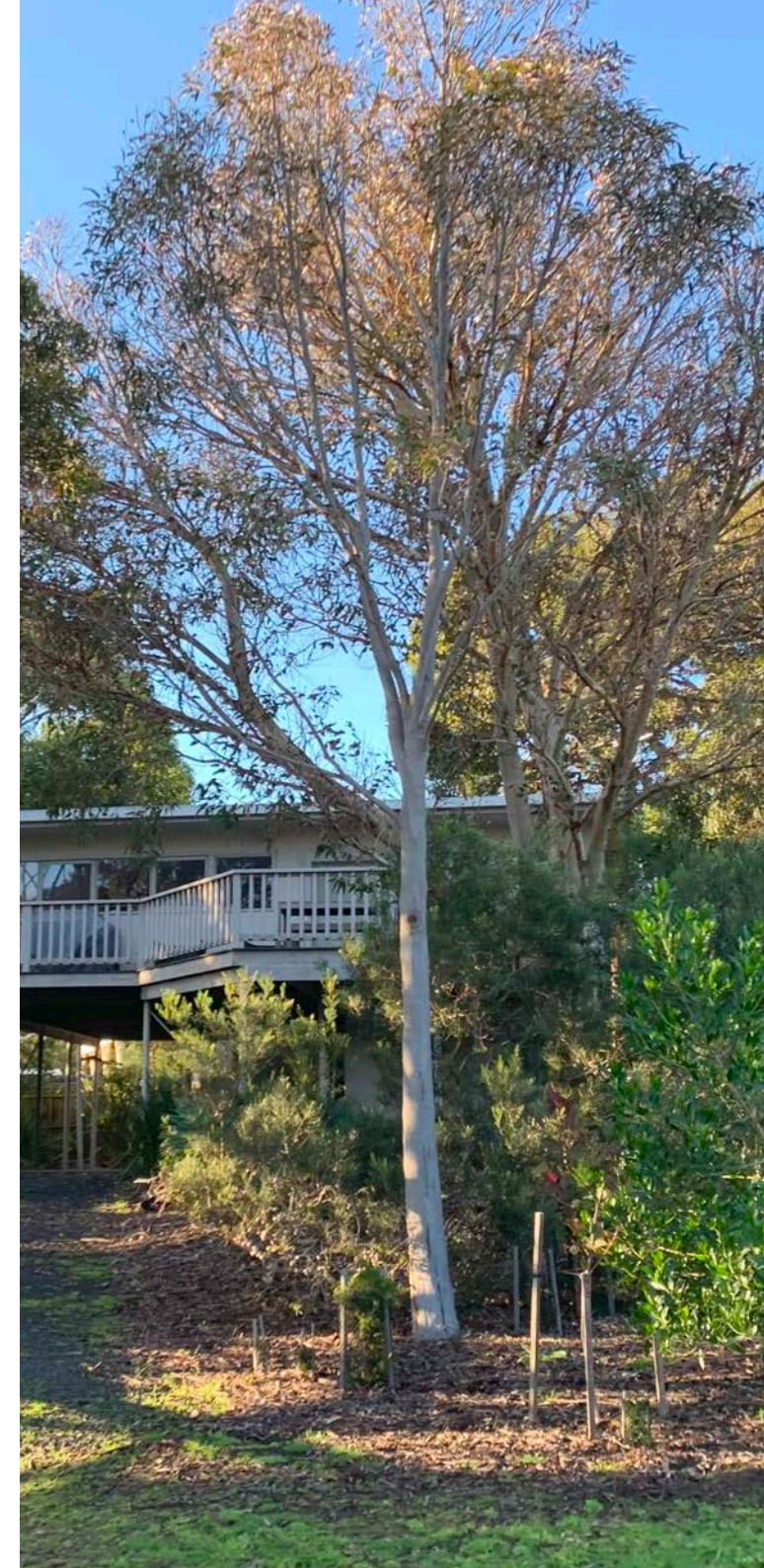
Exemptions apply to buildings built prior to 10 September 2009 and are set out in clause 52.12 (Bushfire Protection: Exemptions). The exemptions apply regardless of whether a permit is required to remove vegetation under any other provision of the planning scheme (e.g. clause 52.17: Native Vegetation, Vegetation Protection Overlay, Environmental Significance Overlay or the like). That is, the exemptions trump all other planning permit triggers, meaning that Council does not have the power to prevent the removal of vegetation covered by the exemptions.

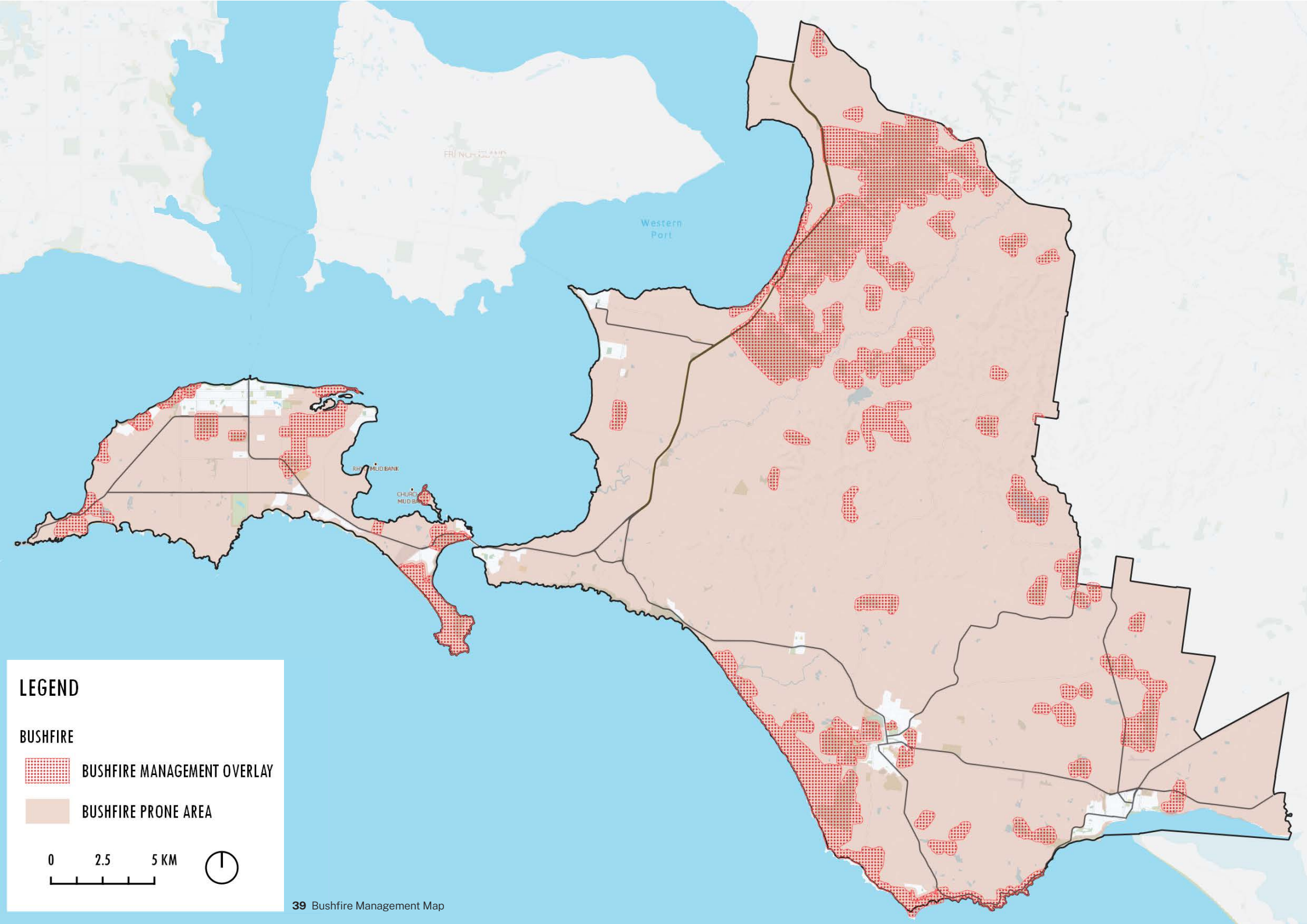
For land within the BMO, any vegetation can be cleared within 10 metres of building used for accommodation plus any vegetation (except trees) within 50 metres, provided that it was constructed or approved before September 2009.

For land mapped as BPA, vegetation can be cleared within 10 metres of a building used for accommodation plus any vegetation (except trees) within 30 metres.

Clause 52.12-2 also provides for an exemption allowing the removal of vegetation from along a fence for a combined maximum width of four metres either side.

While allowing residents to mitigate bushfire risk on their properties is integral to the protection of human life anecdotal evidence suggests that an unfortunate consequence is the impact on neighbourhood character. The cumulative impact of vegetation removal from individual properties poses a threat to the highly valued 'treed' character of Bass Coast.

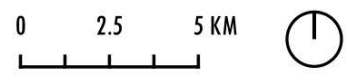




LEGEND

BUSHFIRE

-  BUSHFIRE MANAGEMENT OVERLAY
-  BUSHFIRE PRONE AREA



6.0 Draft Neighbourhood Character Types

This section outlines the draft neighbourhood character areas identified within Bass Coast as part of the desktop analysis and site surveys undertaken for this Study. These draft neighbourhood character areas also reflect the key values identified through initial community consultation undertaken in August 2022.

The table on the following pages provides an overview of the draft character areas identified by this Study and also demonstrates the key differences between each character type/area.

Map 38 depicts the draft character types based on the criteria outlined in the table.

Character areas which have been identified as reflecting ‘highly valued attributes’ include:

- Bush Coastal 1 & 2
- Bush Residential 1 & 2

These ‘highly valued attributes’ are outlined in the table adjacent, and include:

- Undulating to sloping topography
- Indigenous forest species and established native coastal vegetation in the public and private realm
- Views to the coast, rural landscapes, tree canopy and surrounding vegetation
- Remnant tree canopy

Bush Coastal

Spacious residential areas along and in close proximity to the coast, characterised by varied extents of coastal views. Native coastal shrubs and understorey vegetation blur formal boundaries between private and public realms. Dwellings are generally consistently sited in medium to large lots and are built to capitalise the precinct’s varied topography and to maximise coastal and bay views. Distinguishing characteristics which define the sub-precincts are listed below.

Bush Coastal 1

- Features single and double storey bungalow style dwellings and contemporary development
- Moderately sized lots and front setbacks
- Low lying native coastal shrubs and grasses
- Low level private landscaping is visible from the street
- Sealed and unsealed roads
- Flat to sloping topography



Bush Coastal 2

- Features Contemporary dwellings
- Generously sized lots and front setbacks
- Mature coastal shrubs, grasses and tree canopy
- Private landscaping typically screens dwellings
- No footpaths
- Sloping topography



Bush Residential

Spacious residential areas defined by dense tree canopy and heavily informal vegetation that features inconsistently sited dwellings in a bush setting and sometimes informal street pattern; generally modified grid and curvilinear style streets. Distinguishing characteristics which define the sub-precincts are listed below.

Bush Residential 1

- Features Bungalow dwellings
- Significantly sized lots and front setbacks
- Features gable fronted roof forms
- Dwellings nestled within mature tree canopy
- Predominantly unsealed, dirt or gravel roads and driveways
- Undulating to Sloping topography



Bush Residential 2

- Features Post-war and Contemporary dwellings
- Moderately sized lots and front setbacks
- Features hipped and flat roof forms
- A mixture of informal and formal landscaped gardens
- More formal streetscapes with predominantly sealed roads
- Flat to Sloping topography



Coastal Contemporary

Residential areas characterised by consistently sited dwellings in private garden settings and gridded street layout. Modern dwelling types dominate across the precinct, interspersed by heritage dwellings as well as Contemporary infill development. Distinguishing characteristics which define the sub-precincts are listed below.

- Predominantly 2 storey dwellings in coastal areas
- Predominantly contemporary development
- Low to medium levels of vegetation
- Sloping to steep topography
- Coastal views



Coastal Residential

Residential areas characterised by higher density development and a gridded street layout in coastal locations. Modern and contemporary dwelling types dominate across the precinct, interspersed by heritage dwellings. Distinguishing characteristics which define the sub-precincts are listed below.

- Features occasional higher density development
- Mix of post war, modern and contemporary style developments
- Low to medium levels of vegetation
- Flat to sloping topography
- Occasional coastal views



Garden Court

Residential areas characterised by a mix of older style and Contemporary building types which are formally sited in private garden settings and curvilinear street layout (courts / cul-de-sac). Footpaths are generally on one side of the street and the topography is both flat and undulating. Distinguishing characteristics which define the sub-precincts are listed below.

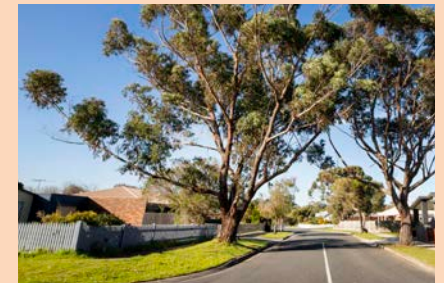
- Predominantly residential estates
- Predominantly 1 storey dwellings
- Repetitive building styles and forms
- Predominantly flat topography
- No views



Garden Residential

Residential areas characterised by consistently sited dwellings in private garden settings and gridded street layout. Modern dwelling types dominate across the precinct, interspersed by heritage dwellings as well as Contemporary infill development. Distinguishing characteristics which define the sub-precincts are listed below.

- Variety of building styles and forms
- Low to medium levels of established vegetation
- Sealed roads
- Single storey with occasional double storey development
- Flat to sloping topography



Rural Residential

Primarily consists of Contemporary dwellings, interspersed with Inter-war and Post-war dwellings, sited on large residential lots within rural settings and at edges of settlements. Dwellings feature large floor plates and are inconsistently sited within grassy, open lawns in a vegetated setting surrounded by a mix of sealed and unsealed roads and varied infrastructure treatments.

- Large lots
- Medium levels of vegetation
- Sealed and unsealed roads
- Features flat to sloping topography
- Views to surrounding rural properties and landscape



**DRAFT
NEIGHBOURHOOD
CHARACTER
TYPES**



LEGEND

- Bass Coast Municipal Boundary
- Neighbourhood Character Areas**
- Bush Coastal 1
- Bush Coastal 2
- Bush Residential 1
- Bush Residential 2
- Coastal Contemporary
- Coastal Residential
- Garden Court
- Garden Residential
- Rural Residential
- Area subject to separate planning controls



7.0 Neighbourhood Character Precinct Profiles

7.1 What is preferred Neighbourhood Character?

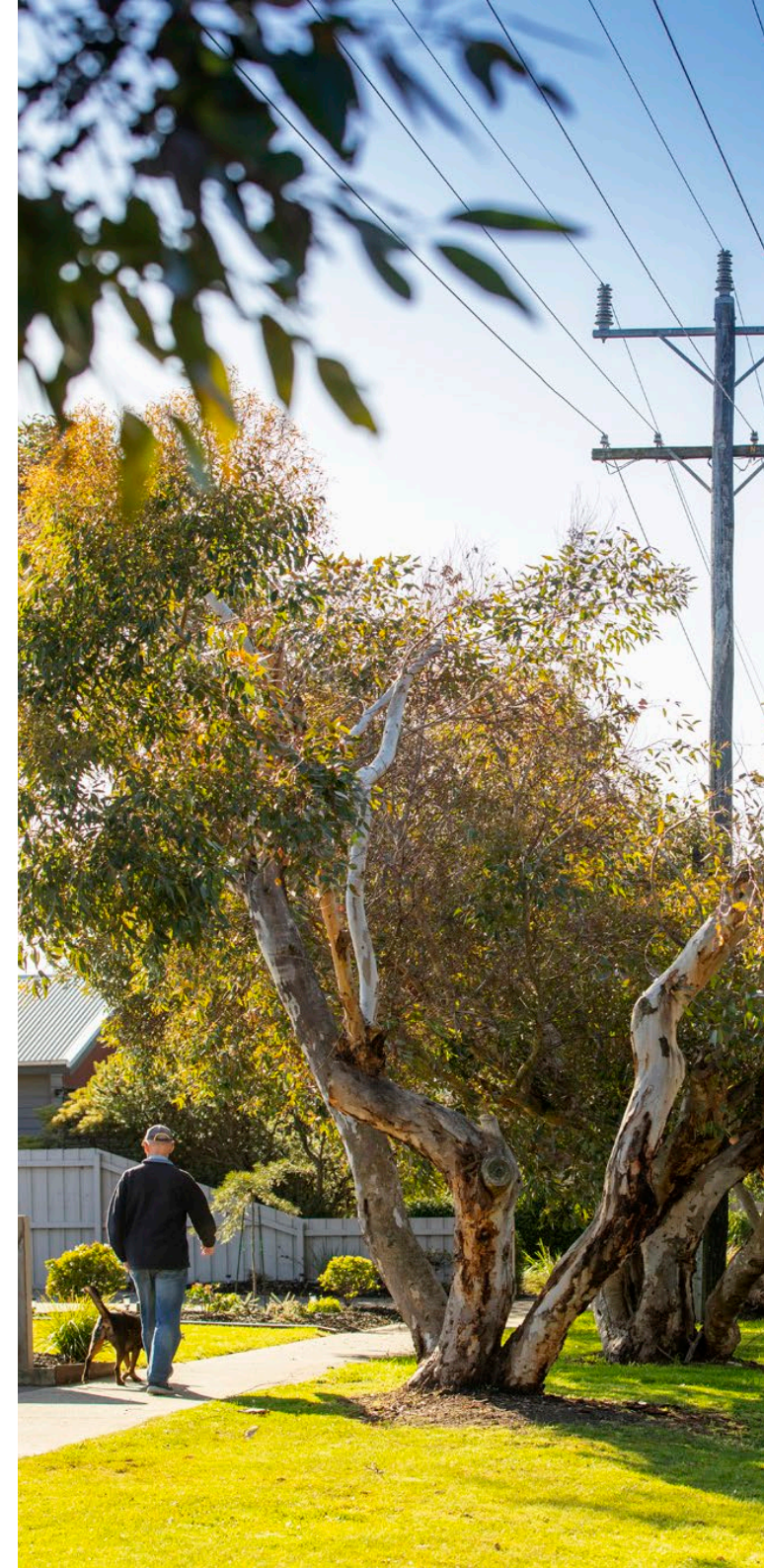
As outlined in Planning Practice Note 90, under clause 54 and clause 55, new development should respect the existing neighbourhood character or contribute to a preferred neighbourhood character. Preferred neighbourhood character is either:

- The existing character of an area; or
- An identified future neighbourhood character different from the existing character of an area.

Where the existing neighbourhood character is the preferred neighbourhood character, it is important to identify the existing features and characteristics of the area to be respected.

A preferred neighbourhood character statement can articulate the valued features and characteristics of an area to be respected by new development. There is no prescribed format for a preferred neighbourhood character statement. Its form will depend on several factors including the features and characteristics of an area or municipality, the housing outcomes sought, and the views of the local community.

It is important that preferred neighbourhood character statements are 'forward-looking' so that if an area is identified for increased housing growth, the growth is not undermined by neighbourhood character policies that seek to maintain the existing neighbourhood character.



7.2 How to Read the Character Precinct Profiles

Neighbourhood character precinct profiles have been prepared for each neighbourhood character area identified within Bass Coast. Each profile provides a summary of character area with associated character objectives and design guidelines to provide guidance to future development, ensuring that it reflects the preferred character as best as possible.

The precinct profiles include:

- Character Description;
- A Character Area map;
- A summary of key character attributes
- Preferred Character Statement;
- Preferred Character Objectives;
- Design Guidelines; and
- Photos

Neighbourhood Character Objectives and Design Guidelines

The purpose of the character objectives and design guidelines is to provide clear direction and guidance on built form outcomes based on preferred neighbourhood character outcomes.

In alignment with Planning Practice Note 91, the Preferred Character Statement directly informs the five design objectives per character area, which can be specified in a schedule to a residential zone to implement the preferred neighbourhood character.

Effective design guidelines should be used as a basis for Council planners when assessing planning applications. Design guidelines that are to be translated into a zone schedule, to vary ResCode standards, should be enhanced by including specific details of the schedule changes (i.e. permeability, site coverage, front and side setbacks).

Character Attributes



Architectural Style, Form & Layout

- Era of buildings
- Existing building quality
- Dominant residential form
- Dominant residential typology



Materials & Colours

- Primary materials & colours



Building Scale & Height

- Scale of existing development



Roof Styles

- Roof form
- Roof material



Garages & Carports

- Dominance of parking structures



Orientation & Setback

- Front setback
- Side setback
- Consistency of setbacks



Lot Size & Subdivision

Front Fencing

- Front fence height
- Front fence type



Gardens & Vegetation

- Private landscaping
- Private garden type



Landscape Character

- Landscape type and areas



Views & Topography

- Views
- Topography



Public Realm & Layout

- Public landscaping
- Street tree types
- Footpath presence
- Road layout
- Road surface

Character Description

The Bush Coastal 1 precinct is characterised by its flat to sloping topography, and mix of Bungalow and Modern era style dwellings and informal streetscapes. Dwellings are primarily constructed out of fibro and cement sheeting with a presence of brick and weatherboard and have flat or gabled metal roof forms. Contemporary built form is occasionally present and constructed from a range of materials, but is often designed to reflect a shack style bungalow. The precinct features a consistent, neutral colour palette that is sympathetic to the surrounding coastal and landscaped setting. Dwellings are primarily single storey throughout the precinct, however double storey dwellings are predominant in areas along the foreshore and in pockets with sloping terrain, built to maximise significant and intermittent views to the coast, bay and surrounding hinterland.

Dwellings and front gardens are visible from the street due to the low lying nature of native planting and intermittent coastal shrubs and grasses in the public realm. Most private gardens feature lower levels of established native vegetation and canopy trees, which is both informally and formally planted and located in typical to generous front setbacks.

Streets follow a modified grid layout and generally contain low to medium levels of coastal vegetation, with intermittent native trees and coastal shrubs in grassed nature strips and coastal reserves.

The presence of footpaths and drainage infrastructure differs according to the variable nature of road surfaces throughout the precinct and informal streetscapes.

Character Attributes



Architectural Style, Form & Layout

- Mix of Bungalow and Modern era styles with an occasional Contemporary development.
- Buildings are detached single dwellings.
- Defined porches, recesses, balconies and extensive glazing to harness views to the coast and bay.



Materials & Colours

- Mix of building materials, such as fibro, cement sheeting, brick and weatherboard.
- Neutral colour palette sympathetic to the surrounding coastal and landscaped setting.



Building Scale & Height

- One to two storey detached single dwellings.



Roof Styles

- Predominately gabled and flat roof forms. constructed of metal.



Garages & Carports

- Car parking structures are primarily equal with the dwelling.
- Presence of informal, open carport styles.
- Vehicle storage is occasionally located forward of the dwelling.



Orientation & Setbacks

- Buildings are oriented parallel to address the street or to take advantage of views.
- Front setbacks generally range from a minimum of 4m and up to 20m (occasional).
- Side setbacks range from 1m to 2m.



Lot Size & Subdivision

- Mix of moderate lot sizes, typically between 500 -800 m².



Front Fencing

- Mix of no or low, semi-transparent front fencing up to 1.5m in height and often constructed of timber.



Gardens & Vegetation

- Low to medium levels of established coastal vegetation featuring low-level native and indigenous coastal shrubs and small trees such as Coast Wattle, Prickly Current Bush, Tea Tree, Scented Paperbark and Coastal Beard Heath.



Landscape Character (Bass Coast Landscape Assessment Review - Volume 1: Feb 2022)

- Landscape Type 1: South Gippsland Coastal Plains
 - Phillip Island North Coast and Hinterland
- Landscape Type 2: Bass Strait Coastal Cliffs
 - Phillip Island Coastal Cliffs
- Landscape Type 3: Strzelecki Highlands
 - Bass Hills and Kilcunda Coast
- Landscape Type 4: Westernport Localised Flatlands
 - Coastal Mangroves & Mudflats



Views & Topography

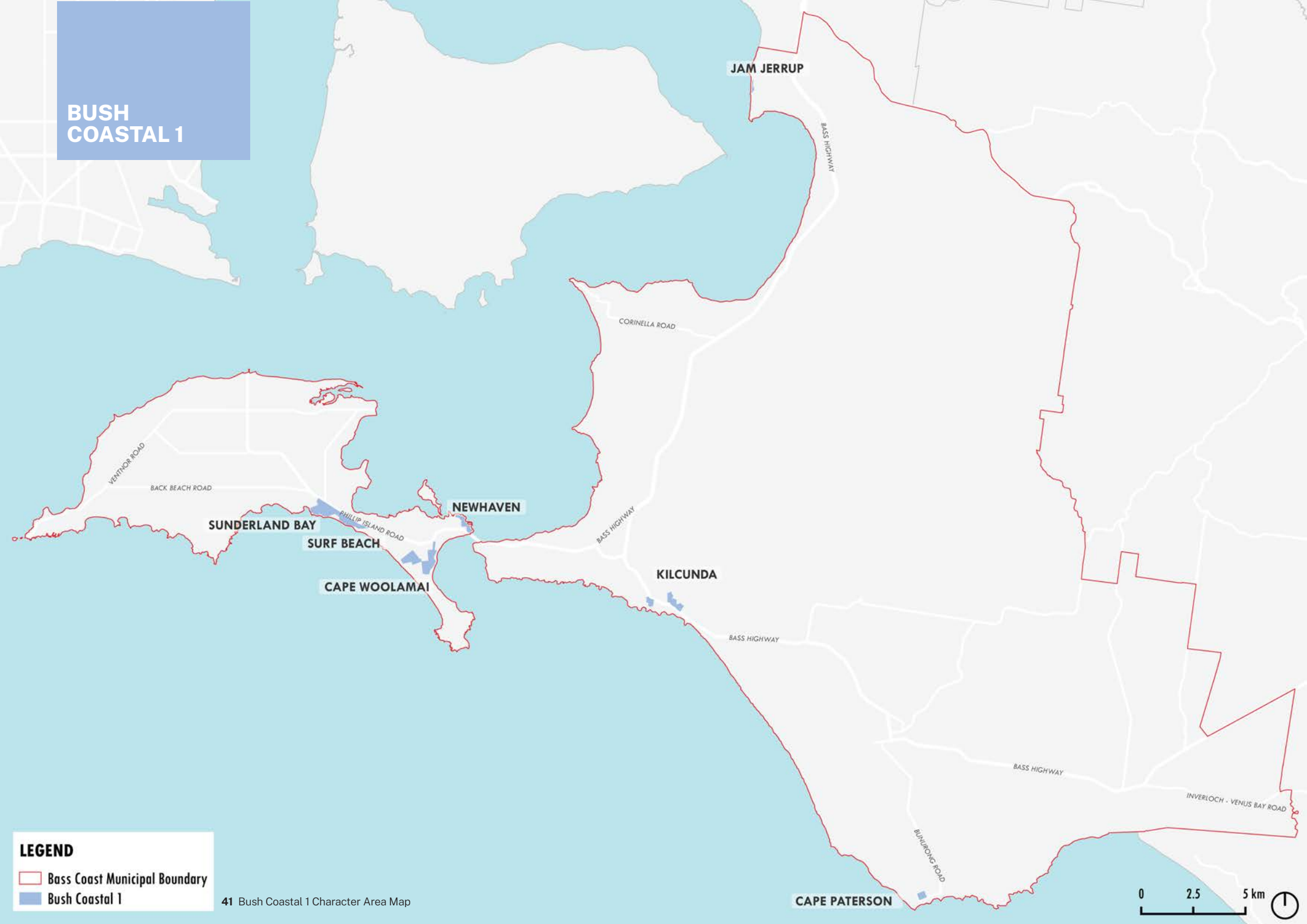
- Flat to sloping topography.
- Dwellings which front the shoreline have access to coastal views.
- Intermittent views down residential streets to shoreline.



Public Realm & Layout

- Intermittent remnant coastal vegetation and shrubs in nature strips.
- Coastal reserves of indigenous woodland & forest.
- Street trees are mostly mature, native species.
- Streets have a modified grid layout.
- Road surfaces are mix of sealed and unsealed.
- Generally no footpaths, occasionally on one side and depends on road surface treatment (mix of asphalt, dirt and gravel).
- Drainage consists of a mix of concrete rollover kerbs and swale.
- A mix of sealed and unsealed vehicle crossovers.

BUSH COASTAL 1



LEGEND

- Bass Coast Municipal Boundary
- Bush Coastal 1



Preferred Character Statements

ALL AREAS

The streets of the precinct will continue to be defined by established coastal vegetation featuring low-level native and indigenous coastal shrubs and small trees such as Coast Wattle, Prickly Current Bush, Tea Tree, Scented Paperbark and Coastal Beard Heath.

Front and side setbacks will allow for the retention of remnant native vegetation, as well as the continued planting of native coastal vegetation and gardens.

New development along ridgelines is sited to retain views to the water, and makes reasonable effort to ensure view sharing between neighbouring properties.

Dwellings utilise natural materials with neutral tones and colours to sit within the coastal vegetated landscape setting.

No or low, semi-transparent, and permeable front fencing will contribute to the openness of the streetscape and allows for views through to dwellings and front garden areas.

INCREMENTAL

In areas experiencing increased change, medium scale development will be experienced, while retaining appropriate setbacks to ensure retention of coastal vegetation, while also maintaining the openness of the streetscape.

Neighbourhood Character Objectives

ALL AREAS

1. To maintain and enhance view corridors in coastal locations by ensuring development is sited to retain public views to the water and makes reasonable effort to ensure view sharing between neighbouring properties.
2. To maintain and strengthen the spaciousness between dwellings that allows for the retention and continued planting of native coastal vegetation including low level native and indigenous trees and shrubs.
3. To maintain the bush coastal feel of the streetscape, characterised by limited delineation between the public and private realm, absent or semi-transparent front fencing and non-dominant car parking structures.
4. To ensure new development positively responds to the preferred scale and styles of the precinct, characterised by low scale dwellings with varied architectural styles and simple building forms utilising natural materials and a neutral colour palette sympathetic to the coastal and vegetated landscape setting.
5. To enhance the natural landscape character of the precinct, characterised by informal streetscapes with intermittent remnant coastal vegetation and shrubs in nature strips and flourishing surrounding indigenous woodlands and forest.

INCREMENTAL

4. To ensure the built form of medium scale development positively responds to the preferred scale and styles of the precinct, characterised by varied architectural styles and simple building forms utilising natural materials and a neutral colour palette sympathetic to the coastal and vegetated landscape setting.
5. To ensure medium scale development does not interrupt the informal nature and openness of streetscapes and respects the natural landscape character of the precinct characterised by remnant coastal vegetation and shrubs in nature strips.

**BUSH
COASTAL 1**



Kilcunda



Newhaven



Kilcunda



Sunderland Bay

Design Guidelines

Change Area	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should use a neutral colour palette of natural tones, particularly browns, greys, cream and blue which complement the coastal setting. • New development should complement the low scale and height of existing dwellings up to 2 storeys. • Buildings should not penetrate the indigenous and native tree canopy, where a canopy is present. • Buildings should provide prominent eaves in all roof forms. • Use non-reflective materials and finishes for walls, roofs and windows. • Incorporate façade articulation with defined porches, recesses, balconies and extensive glazing to harness views to the coast and bay. • Buildings must provide a high-quality landscaping response to the street that contributes to the public realm through innovative design, landscaping and open frontages. • Encourage contemporary building design and innovative architecture that articulates facades and responses to sensitive interfaces. • Locate habitable rooms and dwelling entrances to face the street where possible.
Siting and setbacks	
All areas	<ul style="list-style-type: none"> • New development should maintain generous setbacks that provide for visual breaks and garden areas. • Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site. • Avoid bulky built form by encouraging new development that steps up the slope of the site. • Orient buildings parallel to the street and to maximise coastal views. • Buildings should be sited to take into account the sharing of coastal view corridors and intermittent views down neighbourhood streets to shoreline. • In residential areas adjacent to the coast, buildings should be sited to protect views both to and from the coast. • Buildings should be setback a minimum of 1m from one side boundary and 2m from the other side boundary to enable the planting and growth of indigenous and native trees and understorey planting. • If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of indigenous and native canopy trees and understorey vegetation.

Gardens and landscaping

All areas	<ul style="list-style-type: none"> Retain established or mature trees and provide space for the planting of new canopy trees and substantial vegetation. Where indigenous and larger native species cannot be retained on a site where present in Phillip Island the site should provide adequate space for offset planting of indigenous and native trees that will grow to a mature height similar to the height of the tree that was removed. Minimise tall, exotic or screening vegetation to allow for views to coast in front of and between dwellings. Provide landscaping along driveways and laneways to soften the appearance of buildings, fencing and hardstand areas. Prepare and implement a landscape plan to accompany all applications for new dwellings that utilises appropriate indigenous and native species as identified in the <i>Bass Coast Preferred Species List</i>. Encourage a mix of formal and informal front garden styles that incorporate indigenous coastal vegetation and native canopy trees. Plant vegetation and trees in the public realm, including nature strips in accordance with the <i>Bass Coast Urban Forest Strategy</i>. Buildings should not exceed 50% site coverage. Provide at least 30% of site as permeable surface.
Minimal	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 150m² across the site.
Incremental	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 200m² across the site.

Garage storage and vehicle access

All areas	<ul style="list-style-type: none"> Encourage open carport styles and ensure garages do not dominate the streetscape. Locate garages and carports to the side or rear, behind the line of the dwelling. Provide only one vehicular crossover per typical site frontage. Limit the width of vehicle accessways and support unsealed crossovers that blend with the existing landscape. Minimise paving in front yards, including the driveway. In the case of side-by-side development, space the vehicle crossovers to retain the existing rhythm of the street.
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Front fencing

All areas	<ul style="list-style-type: none"> Fencing should be set back from the front site boundary to allow for landscaping in front of the fence. A front fence within 3 metres of a street should provide no or a low, open style up to 1.5m in height, constructed of timber.
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BUSH COASTAL 2



Character Description

The Bush Coastal 2 precinct is characterised by detached dwellings sited on generous sized lots with medium levels of vegetation in front garden spaces, which blends into the coastal shrubs and mature native canopy trees within the public realm and surrounding hinterland.

Dwellings within this precinct are predominantly of a Modern or Contemporary architectural style, built in a variety of materials that reflect the coastal location and feature predominately metal gabled or flat roof forms. Although there is the occasional dwelling that appears as an original bungalow, there is a high occurrence of contemporary dwellings. Whilst there are a number of single-storey dwellings throughout the precinct, double storey dwellings are predominate in areas of steeper topography and along the foreshore to maximise coastal views.

In foreshore areas, many dwellings are visually obscured from the street due to the density of coastal native shrubs, established exotic species and remnant tree canopy, although are intermittently viewed from the foreshore. Lack of fencing in combination with generous front setbacks creates a sense of openness to the streetscape and space for the continued planting of vegetation.

The streetscape is largely informal, featuring a mix of sealed and unsealed roads, a lack of footpaths and swale drains at street edges.

Character Attributes



Architectural Style, Form & Layout

- Predominately Modern and Contemporary era styles, with an occasional Bungalow development.
- Buildings are detached single dwellings.
- Defined porches, recesses, balconies and extensive glazing to harness views of the coast and bay.



Materials & Colours

- Predominately brick, weatherboard, timber and other Contemporary materials (concrete, render, etc) in Contemporary developments.
- Neutral colour palette sympathetic to the surrounding coastal and landscaped setting.



Building Scale & Height

- One to two storey detached single dwellings.



Roof styles

- Predominately gabled and flat roof forms constructed of metal.



Garages & carports

- Car parking is frequently constructed on the side boundary.
- Presence of informal, open carport styles.
- Vehicle storage is primarily equal with or behind the front facade.



Orientation & Setback

- Generally sited parallel to the street, occasional dwelling informally sited.
- Front setbacks are generous; occasionally ranging from 7m to 9m.
- Side setbacks range from 2m to 3m.



Lot Size & Subdivision

- Mix of moderate-large lot sizes, average of 800m².



Front Fencing

- A predominant absence of front fences.
- Where a fence is provided it is typically semi-transparent and up to 1.5m in height and constructed of timber or post and wire.



Gardens & Vegetation

- Medium levels of coastal vegetation and landscaped gardens, comprising predominately mature indigenous and native canopy trees including Coast Banksia, River Red Gum, Black Wattle, Blackwood, Black Sheoak and Coastal Manna Gum.



Landscape Character (Bass Coast Landscape Assessment Review - Volume 1: Feb 2022)

- Landscape Type 1: South Gippsland Coastal Plains
 - Phillip Island North Coast & Hinterland
 - Bunurong Coast & Powlett River Lowlands
 - Inverloch & Anderson Inlet
- Landscape Type 2: Bass Strait Coastal Cliffs
 - Phillip Island Coastal Cliffs



Views & Topography

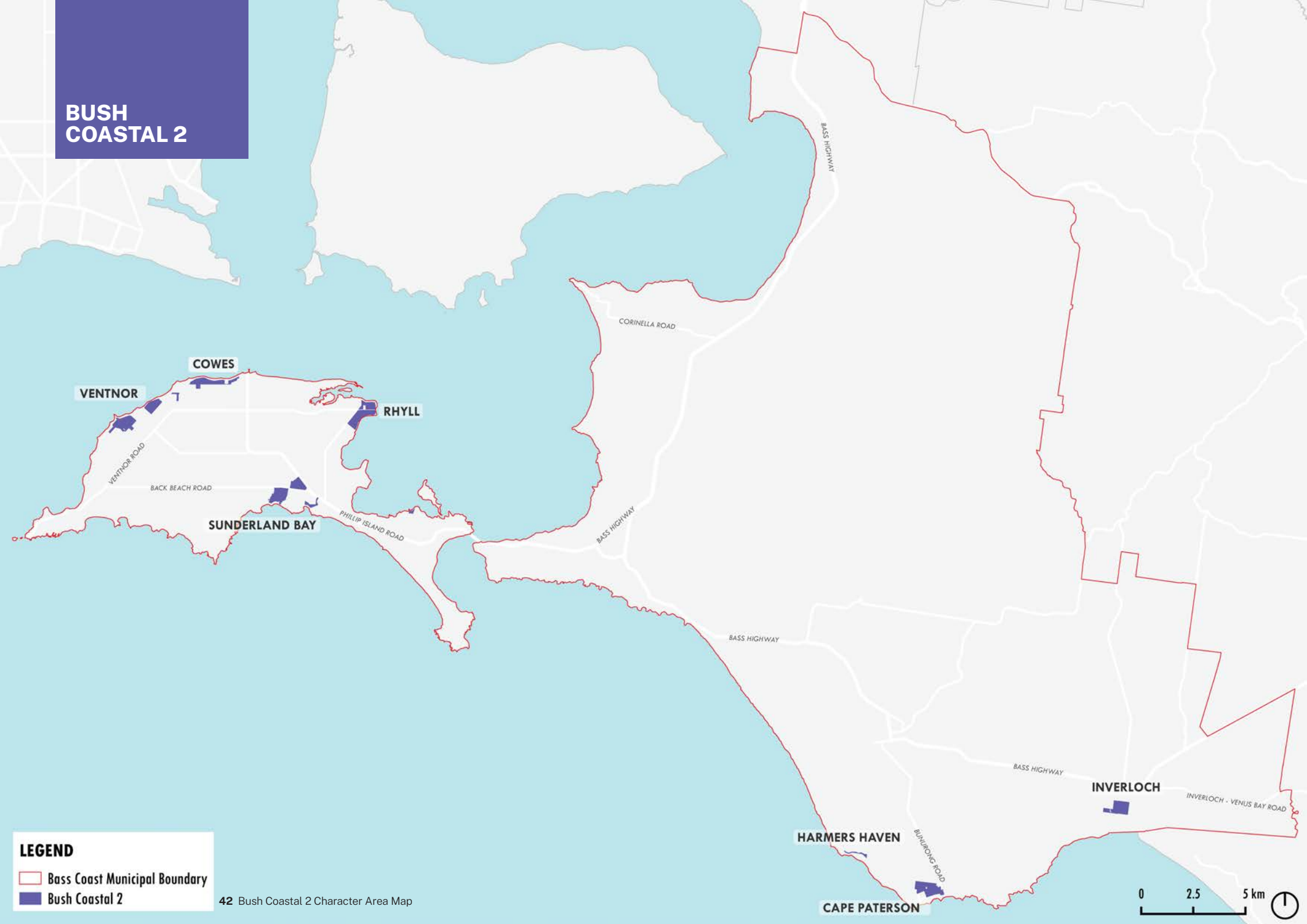
- Sloping topography.
- Dwellings located on high points and along ridgelines & built to maximise coastal and bay views.
- Intermittent views to shoreline from high points.



Public Realm & Layout

- Medium levels of coastal vegetation and shrubs in wider nature strips.
- Street trees are large remnant, native species and are often intermittent and irregularly planted.
- Coastal reserves of indigenous woodland & forest.
- Streets mostly follow a modified grid layout, occasional court-based streets.
- Road surfaces are both sealed and unsealed (asphalt, dirt and gravel roads).
- Footpaths are not present.
- Drainage consists of a mix of concrete kerb and channel, rollover kerbs and swale.
- Predominantly unsealed crossovers.

BUSH COASTAL 2



LEGEND

-  Bass Coast Municipal Boundary
-  Bush Coastal 2



Preferred Character Statements

ALL AREAS

Medium to high levels of coastal vegetation including occasional mature indigenous and native canopy trees; Coast Banksia, River Red Gum, Black Wattle, Blackwood, Black Sheoak and Coastal Manna Gum dominate the streetscapes of this precinct.

In densely vegetated areas, dwellings sit below the existing tree canopy and are mostly obscured from view.

Dwellings utilise natural materials with neutral tones and colours to sit within the coastal vegetated landscape setting.

Generous setbacks are provided to allow for the retention of remnant vegetation, as well as the continued planting of native, coastal vegetation and gardens.

Absent or low and permeable front fences will allow for views through to front gardens and reinforce the limited delineation and informal transition between the public and private realm.

INCREMENTAL

Streets within Incremental Change areas will support medium scale development while still retaining the bush coastal setting with access to intermittent coastal views.

SUBSTANTIAL

Streets within Substantial Change areas will experience increased change through housing diversity at greater densities and heights, while still maintaining appropriate setbacks for the retention and planting of coastal vegetation that contributes to the precincts coastal bush setting.

Neighbourhood Character Objectives

ALL AREAS

1. To maintain and strengthen the bush coastal setting of the precinct, characterised by medium to high levels of vegetation comprising dense coastal scrub, occasional large canopy trees and frequent lower-level trees that dominate the streetscapes in both the public and private realm.
2. To maintain and enhance view corridors in coastal locations, to ensure reasonable view sharing between neighbouring properties by providing generous setbacks between dwellings.
3. To maintain the informal character of the streetscape, ensuring new development features absent or semi-transparent front fencing and car-parking structures which are not visually prominent.
4. To ensure new development positively responds to the preferred scale and styles of the precinct, utilising a range of natural materials and a neutral colour palette sympathetic to the coastal vegetated landscape setting.
5. To enhance the bush coastal setting of the precinct, ensuring new development predominantly sits below existing tree canopy and is obscured by coastal vegetation.

INCREMENTAL

4. To ensure the built form of medium scale development positively responds to the preferred scale and styles of the precinct, utilising a range of natural materials and a neutral colour palette sympathetic to the coastal and vegetated landscape setting.
5. To ensure the built form of medium scale development is softened by vegetation to enhance the bush coastal setting of the precinct.

SUBSTANTIAL

4. To ensure new, higher density development on smaller lots positively responds to the preferred scale and styles of the precinct, utilising a range of natural materials and a neutral colour palette sympathetic to the coastal and vegetated landscape setting.
5. To maintain appropriate setbacks and spacing between dwellings in areas identified for higher density development to accommodate remnant coastal vegetation and to ensure the overall bush coastal setting is retained.

**BUSH
COASTAL 2**



Harmers Haven



Cape Paterson



Ventnor



Rhyll

Design Guidelines

Change Area	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should use a neutral colour palette of natural tones, particularly browns, greys, cream and blue which complement the significantly vegetated coastal setting. • Buildings should not penetrate the indigenous and native tree canopy, where a canopy is present. • New buildings at or near ridgelines should be designed and sited below the height of trees along the ridgeline. • Buildings should provide prominent eaves in all roof forms. • Use non-reflective materials and finishes for walls, roofs and windows. • Incorporate façade articulation with defined porches, recesses, balconies and extensive glazing to harness views to the coast and bay. • Buildings must provide a high-quality landscaping response to the street that contributes to the public realm through innovative design, landscaping and open frontages. • In the case of side-by-side development, provide each dwelling with a separate roofline and a discernible sense of address. • Encourage contemporary building design and innovative architecture that articulates facades and responses to sensitive interfaces. • Locate habitable rooms and dwelling entrances to face the street where possible.
Minimal and Incremental	<ul style="list-style-type: none"> • New development should complement the low scale height of existing dwellings up to 2 storeys.
Substantial	<ul style="list-style-type: none"> • New development should complement the medium scale height of existing dwellings up to 3 storeys.
Siting and setbacks	
All areas	<ul style="list-style-type: none"> • New development should maintain generous setbacks that provide for visual breaks and garden areas. • Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site. • Buildings should minimise visual bulk, designed to follow the contours of the site or step down the site. • Orient buildings to maximise coastal views and limit impact to vegetation. • Buildings should be sited to take into account the sharing of intermittent views to the shoreline from high points. • In residential areas adjacent to the coast, in steep areas high points and along ridgelines, buildings should be sited to both protect views both to and from the coast. • If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of indigenous and native canopy trees and understorey vegetation.
Minimal	<ul style="list-style-type: none"> • Buildings should be set back at least 3m from one side boundary and 1m from the other to enable the planting and growth of indigenous and native trees and understorey planting.

BUSH COASTAL 2

Incremental	<ul style="list-style-type: none"> Buildings should be setback a minimum of 1m from one side boundary and 2m from the other side boundary to enable the planting and growth of indigenous and native trees and understorey planting.
Substantial	<ul style="list-style-type: none"> Buildings should be setback a minimum of 1m from one side boundary and 2m from the other side boundary to enable the planting and growth of indigenous and native trees and understorey planting. Setback upper levels above 2 storeys to achieve visual recession.

Gardens and landscaping

All areas	<ul style="list-style-type: none"> Retain established or mature trees and provide space for the planting of new canopy trees and substantial vegetation. Where indigenous and larger native species cannot be retained on a site where present (ie. Phillip Island and Inverloch) the site should provide adequate space for offset planting of indigenous and native trees that will grow to a mature height similar to the height of the tree that was removed. Minimise tall, exotic or screening vegetation to allow for views to coast in front of and between dwellings. Provide landscaping along driveways and laneways to soften the appearance of buildings, fencing and hardstand areas. Prepare and implement a landscape plan to accompany all applications for new dwellings that utilises appropriate indigenous and native species as identified in the <i>Bass Coast Preferred Species List</i>. Encourage informal front gardens that predominantly incorporate indigenous coastal vegetation and native canopy trees. Plant vegetation and trees in the public realm, including nature strips in accordance with the <i>Bass Coast Urban Forest Strategy</i>. Buildings should not exceed 50% site coverage. Provide at least 40% of site as permeable surface.
Minimal	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 100m² across the site.
Incremental and Substantial	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 150m² across the site.

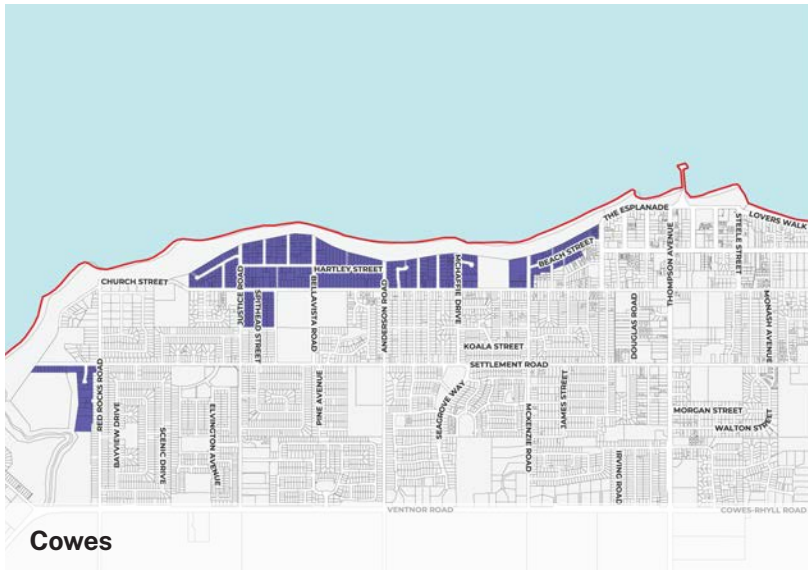
Garage storage and vehicle access

All areas	<ul style="list-style-type: none"> Locate garages and carports in line with or behind the façade of the dwelling, ensuring that they do not dominate the streetscape. Avoid garages and carports forward of the dwelling façade. Provide only one vehicular crossover per typical site frontage. Limit the width of vehicle accessways and support unsealed crossovers that blend with the existing landscape. Minimise paving in front yards, including the driveway. In the case of side-by-side development, space the vehicle crossovers to retain the existing rhythm of the street.
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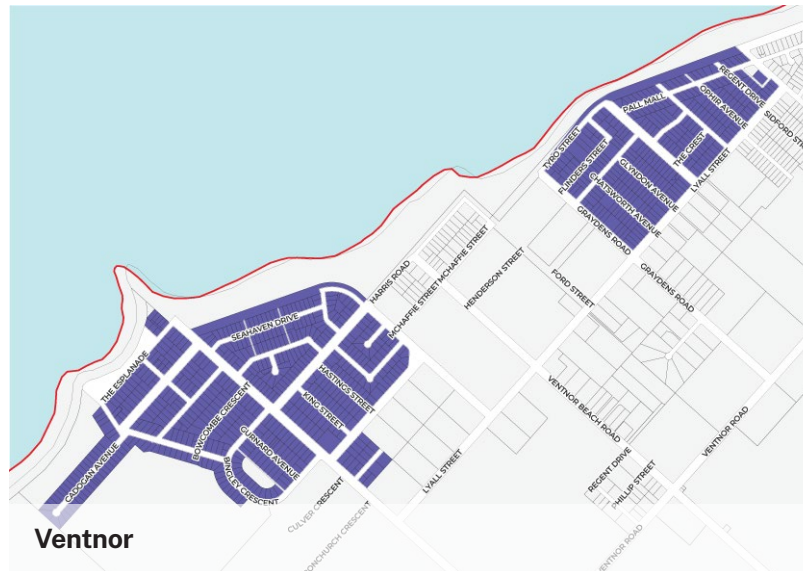
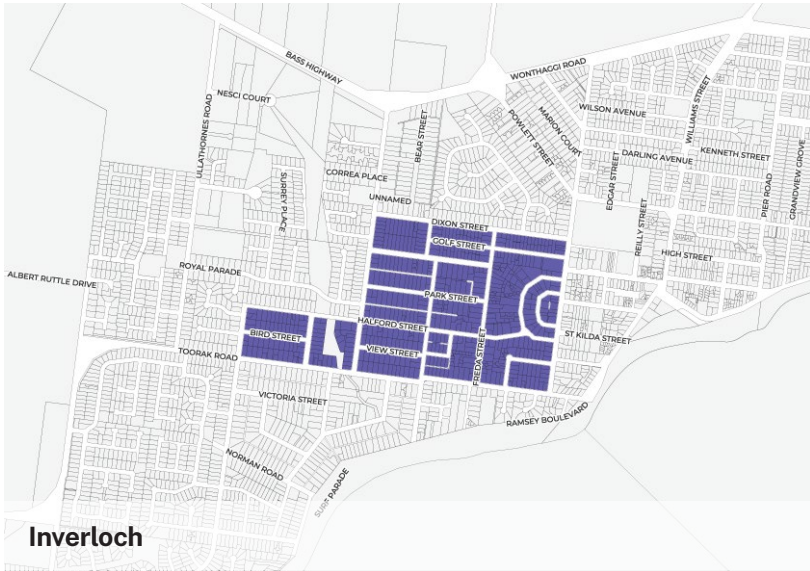
Front fencing

All areas	<ul style="list-style-type: none"> Fencing should be set back from the front site boundary to allow for landscaping in front of the fence. A front fence within 3 metres of a street should provide no or a low, open style up to 1.5m in height, constructed of timber or post and wire.
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BUSH COASTAL 2



BUSH COASTAL 2



BUSH COASTAL 2



Smiths Beach



Sunset Strip

BUSH RESIDENTIAL 1

BUSH RESIDENTIAL 1

Character Description

The Bush Residential 1 precinct is characterised by informal streetscapes, large lots and dense native vegetation and mature tree canopy cover in both the public and private realm. Dwellings are predominately Bungalow or Modern in their design, and utilise natural material finishes and muted colour palette of earthen and bush tones that tie in with the vegetated landscape setting. Contemporary built form is also present and is often designed to reflect a shack style bungalow. Dwellings are constructed in a variety of materials, including weatherboard, timber and concrete render and predominantly feature hipped or gable fronted, metal roof styles.

Significant sized lots and setbacks from the street enhance the bushy feel of the precinct, and affords ample space for the retention of dense remnant vegetation including lush understorey of shrubs and grasses, mature native canopy trees and other non-native plantings. Dwellings are sited within both informal and well-landscaped gardens that comprise mature, canopy trees in the public realm which often obscures dwellings from street view. Dwellings are generally single storey, however double storey developments are common in areas characterised by sloping terrain to take advantage of intermittent views of tree-top areas and surrounding rural landscapes.

There is a predominant absence of front fences. Where front fences appear, they are generally low and transparent and are often constructed of timber or post and wire. Road and vehicle crossovers are generally unsealed, with swale drains and no footpaths. Roads are mostly gravel or dirt and wind through the heavily treed, undulating landscape.

Character Attributes



Architectural Style, Form & layout

- Mix of Bungalow and Modern era styles, including contemporary built form that is reflective of varying building styles and material finishes.
- Buildings are detached single dwellings.



Materials & Colours

- Predominately weatherboard, timber and concrete render.
- Natural material finishes
- Muted colour palette of earthen and bush tones, including various greens, darker browns and greys



Building Scale & Height

- One to two storey detached single dwellings.



Roof Styles

- Predominately hipped or gable fronted roof forms, constructed of metal.



Garages & Carports

- Car parking is frequently constructed on the side boundary.
- Vehicle storage is typically located in line or behind the front facade, and occasionally in front of the dwelling.
- Often long driveways which are typically unsealed.
- Dense public and private vegetation often screens car parking structures from view.
- Presence of informal, open carport styles.



Orientation & Setback

- Inconsistent siting and orientation of dwellings.
- Front setbacks are generous, ranging from 7m to 9m.
- Dwellings are separated by spacious side setbacks, in excess of 4m.



Lot Size & Subdivision

- Consistently larger lot sizes, generally in excess of 1,000m².



Front Fencing

- A predominant absence of front fences.
- Where a fence is provided it is typically low, semi-transparent and up to 1m in height constructed of timber or post and wire.



Gardens & Vegetation

- High levels of native, informal vegetation in the private realm as well as formally landscaped gardens.
- Gardens feature a mix of mature and remnant native canopy trees as well as native and some non-native, low-lying plantings and shrubs.
- Dense canopy cover visually unite the public and private realms and often screen dwellings from view i.e. remnant coast Banksia woodland in Silverleaves.



Landscape Character (Bass Coast Landscape Assessment Review - Volume 1: Feb 2022)

- Landscape Type 1: South Gippsland Coastal Plains
 - Phillip Island North Coast & Hinterland
 - Bunurong Coast & Powlett River Lowlands
- Landscape Type 3: Strzelecki Highlands
 - The Gurdies Hills
- Landscape Type 4: Westernport Localised Flatlands
 - Coastal Mangroves & Mudflats
 - Rhyll Inlet & Churchill Island Wetlands



Views & Topography

- Undulating to Sloping topography.
- Intermittent views to surrounding rural landscapes, vegetation and tree canopies.



Public Realm & Layout

- Informal street planting characterised by high levels of mature, native canopy trees and indigenous forest species.
- Streets mostly follow a modified grid layout, with winding roadways and some cul-de-sacs.
- Informal streetscapes typically with no footpaths, predominately unsealed roads and narrow vehicle crossovers, with the surface consisting of mostly gravel or dirt.
- Occasionally sealed road surfaces.
- Drainage consists of a mix of kerb and channel, trenches and swales.

BUSH RESIDENTIAL 1



LEGEND

-  Bass Coast Municipal Boundary
-  Bush Residential 1



Preferred Character Statements

ALL AREAS

Predominately unmade roads wind informally through the heavily treed precinct, with minimal delineation between public and private realms heightened by a lack of footpaths. Streetscapes will continue to be dominated by dense native vegetation and mature tree canopy cover with lush undergrowth.

Dwellings will sit below the existing tree canopy and utilise muted colour palette of earthen and bush tones to complement the vegetated landscape setting.

Significant front and side setbacks will provide for the retention of generous native vegetation. Dense remnant shrubs and grasses and mature tree canopy will often obscure dwellings and carparking structures from street view.

Absent, low or transparent, front fencing will enhance the bushy and informal transition between public and private realms.

INCREMENTAL

Streets within Incremental Change areas will experience incremental change through housing diversity at greater densities, while still maintaining appropriate setbacks for the retention and planting of remnant vegetation that contributes to the overall bush setting of the precinct.

Neighbourhood Character Objectives

ALL AREAS

1. To maintain and strengthen the spaciousness and bush setting surrounding dwellings, minimising disruptions to dense native vegetation and mature tree canopy cover with lush undergrowth that screen developments from view.
2. To ensure new development follows the typography of the land and sits below existing tree canopy, minimising the dominance of car parking structures and maintaining intermittent views to surrounding rural landscapes, vegetation and tree canopies.
3. To retain the largely informal and bushy setting of the streetscape, characterised by dwellings which feature low or semi-transparent front fences that enhance the informal transition between public and private realms.
4. To ensure new development positively responds to the preferred scale and styles of the precinct, characterised by predominantly low scale dwellings which utilise natural building materials and a muted colour palette of earthen and bush tones to complement the vegetated landscape setting.
5. To ensure the siting and orientation of dwellings maximises the retention of existing dense native vegetation including mature remnant canopy trees, shrubs and grasses.

INCREMENTAL

4. To ensure the built form of medium scale development positively responds to the preferred scale and styles of the precinct, utilising a range of natural building materials and muted colour palette of earthen and bush tones to complement the vegetated landscape setting.
5. To ensure the siting and orientation of new medium scale development enables the retention and planting of remnant native canopy trees, shrubs and grasses and contributes to the overall bush character of the precinct.

BUSH RESIDENTIAL 1



BUSH RESIDENTIAL 1

Design Guidelines

Change Area	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should complement the low scale and height of existing dwellings up to 2 storeys. • Buildings should not penetrate the indigenous and native tree canopy, where a canopy is present. • New buildings at or near ridgelines should be designed and sited below the height of trees along the ridgeline. • Buildings should provide a pitched roof with prominent eaves, constructed of metal. • Use non-reflective materials and finishes for walls, roofs and windows. • New development should use a muted colour palette of earthen and bush tones, particularly various greens, darker browns and greys which complement the bush setting. • Buildings must provide a high-quality landscaping response to the street that contributes to the public realm through innovative design, landscaping and open frontages. • Encourage contemporary building design and innovative architecture that articulates facades and responses to sensitive interfaces. • Locate habitable rooms and dwelling entrances to face the street where possible.
Siting and setbacks	
All areas	<ul style="list-style-type: none"> • New development should maintain generous setbacks that provide for visual breaks and garden areas. • Buildings should be designed to follow the topography of the land and minimise the need for cut and fill throughout the site. • Dwellings should be informally sited. • Minimise bulky built form by encouraging new development that steps up the slope of the site. • Buildings should be sited to take into account the sharing of intermittent views to surrounding rural landscapes, vegetation and tree canopies. • In residential areas adjacent to the coast, buildings should be sited to protect views both to and from the coast. • If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of indigenous and native canopy trees and understorey vegetation. • Buildings should be set back a minimum of 4m from one side boundary to enable the planting of indigenous and native trees and understorey planting.
Incremental	<ul style="list-style-type: none"> • Buildings should be set back at least 3m from one side boundary and 1m from the other to enable the planting and growth of indigenous and native trees and understorey planting.

BUSH RESIDENTIAL 1

Gardens and landscaping

All areas	<ul style="list-style-type: none">• Retain established or mature trees and provide space for the planting of new canopy trees and substantial vegetation. Where indigenous and larger native species cannot be retained on a site where present (Phillip Island and Inverloch) the site should provide adequate space for offset planting of indigenous and native trees that will grow to a mature height similar to the height of the tree that was removed.• Provide informal gardens that predominantly incorporate indigenous coastal vegetation and native canopy trees.• Provide landscaping along shared driveways and laneways to soften the appearance of buildings, fencing and hardstand areas.• Prepare and implement a landscape plan to accompany all applications for new dwellings that utilises appropriate indigenous and native species as identified in the <i>Bass Coast Preferred Species List</i>.• Plant vegetation and trees in the public realm, including nature strips in accordance with the <i>Bass Coast Urban Forest Strategy</i>.• Buildings should not exceed 40% site coverage.• Provide at least 40% of site as permeable surface.
Minimal	<ul style="list-style-type: none">• Provide indigenous and native canopy trees occurring at a density of one to every 50m² across the site.
Incremental	<ul style="list-style-type: none">• Provide indigenous and native canopy trees occurring at a density of one to every 100m² across the site.

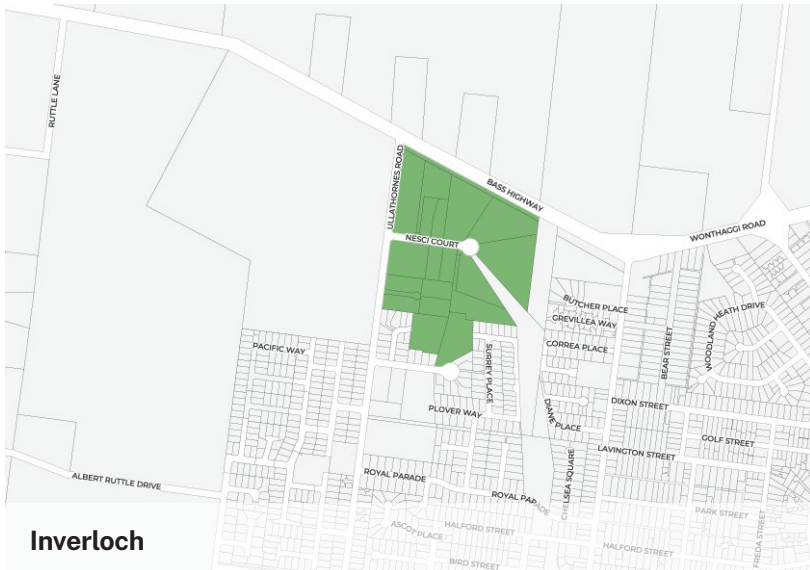
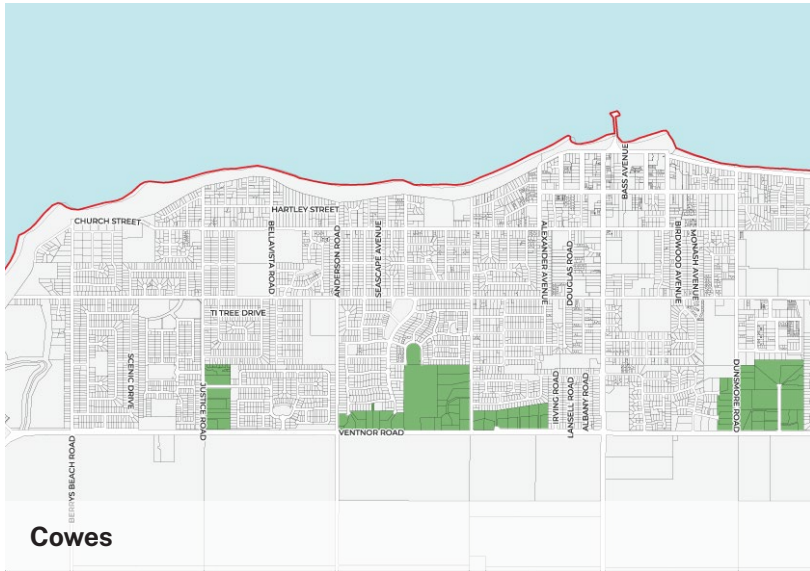
Garage storage and vehicle access

All areas	<ul style="list-style-type: none">• Locate garages and carports in line or behind the front façade of the dwelling, ensuring that they do not dominate streetscape.• Provide only one vehicular crossover per typical site frontage.• Limit the width of vehicle accessways and support unsealed crossovers that blend with the existing landscape.• Minimise paved areas within the front setback and private garden areas.• Use permeable driveway materials.• Provide landscaping and plantings to soften the appearance of driveways• Minimise paving in front yards, including the driveway.• In the case of side-by-side development, space the vehicle crossovers to retain the existing rhythm of the street.
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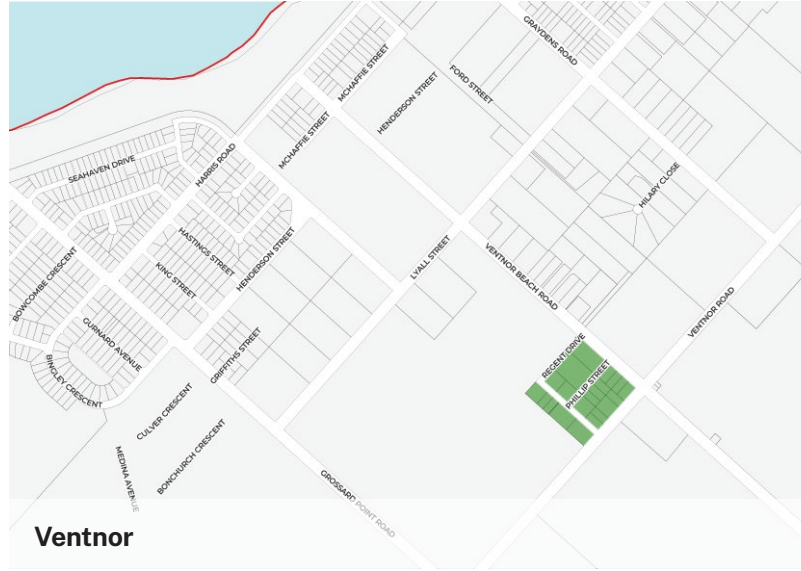
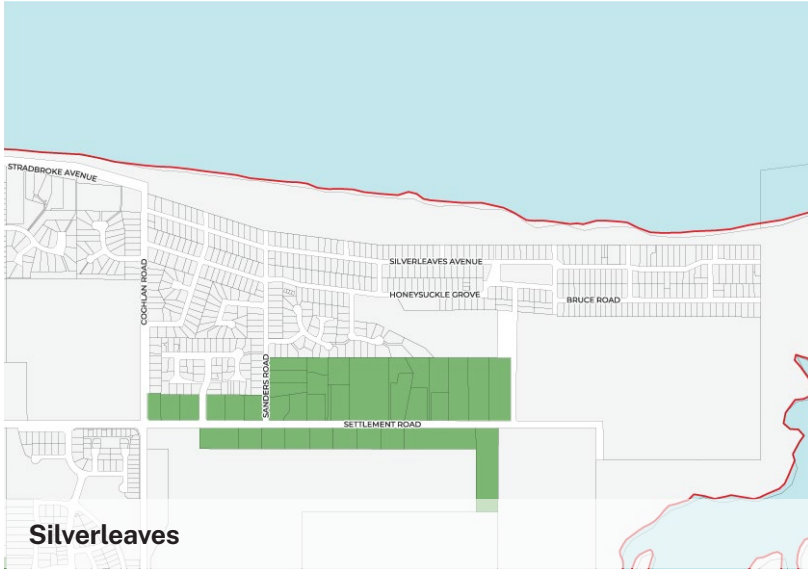
Front fencing

All areas	<ul style="list-style-type: none">• Fencing should be set back from the front site boundary to allow for landscaping in front of the fence.• A front fence within 3 metres of a street should provide no or a low, open style up to 1m in height constructed of timber or post and wire.
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BUSH RESIDENTIAL 1



BUSH RESIDENTIAL 1



BUSH RESIDENTIAL 2



Character Description

The streets of the Bush Residential 2 precinct have a more formal character and feature dwellings which are sited within densely vegetated lots featuring mature, native canopy trees. The architectural style of dwellings is generally Bungalow and Modern, with an occasional Contemporary development that is often designed to reflect a shack style bungalow. Dwellings are constructed in varied materials, including brick, weatherboard and timber and feature both flat and hipped, metal roof forms.

The precinct is characterised by generous front and side setbacks and often times no front fencing, which heightens the openness and bushy character of the streetscapes. Dwellings are typically detached and single storey, with two storey developments intermittently present in more established areas. Dwellings are often obscured from view at street level due to the density of native tree cover and remnant vegetation in private gardens which blends with the public realm.

The public realm is characterised by more formal streetscapes, concrete rollover kerbs and occasional swales. The topography of the precinct varies; some areas are flat to undulating while others are steep. Dwellings sited on steeper areas allow for intermittent views to the coastline and surrounding tree canopies. Whilst there is a presence of unsealed roads and courts, roads are mostly sealed and follow a curved street pattern through the undulating landscape.

Character Attributes



Architectural Style, Form & Layout

- Mix of Bungalow and Modern era styles, with an occasional Contemporary development.
- Buildings are detached single dwellings.



Materials & Colours

- Predominately brick, weatherboard, timber, and other Contemporary materials (concrete, render, etc) in Contemporary developments.



Building Scale & Height

- One to two storey detached single dwellings.



Roof Styles

- Mix of low and high pitched hipped or flat roof forms, constructed of metal.



Garages & Carports

- Car parking is frequently constructed on the side boundary.
- Presence of informal, open carport styles.
- Vehicle storage is typically in line with the front facade, occasionally located behind the dwelling.



Orientation & Setback

- Inconsistent siting and orientation of dwellings
- Front setbacks are generous ranging from 3m to 6m and occasionally 6m to 8m.
- Side setbacks range from 2m to 3m.



Lot Size & Subdivision

- Mix of medium-large lot sizes, generally between 800-1,000m².



Front Fencing

- A predominant absence of front fences.
- Where a fence is provided it is typically low, semi-transparent and up to 1 m in height and either constructed of timber or post and wire.



Gardens & Vegetation

- Medium to high levels of native, informal vegetation in the private realm.
- Gardens feature a mix of large, remnant native and indigenous canopy trees as well as some exotic plantings.



Landscape Character (Bass Coast Landscape Assessment Review - Volume 1: Feb 2022)

- Landscape Type 1: South Gippsland Coastal Plains
 - Westernport & Bass River Lowlands
 - Phillip Island North Coast & Hinterland
 - Inverloch & Anderson Inlet
- Landscape Type 3: Strzelecki Highlands
 - Bass Hills & Kilcunda Coast
 - The Gurdies Hills
- Landscape Type 4: Westernport Localised Flatlands
 - Coastal Mangroves & Mudflats
 - Rhyll Inlet & Churchill Island Wetlands



Views & Topography

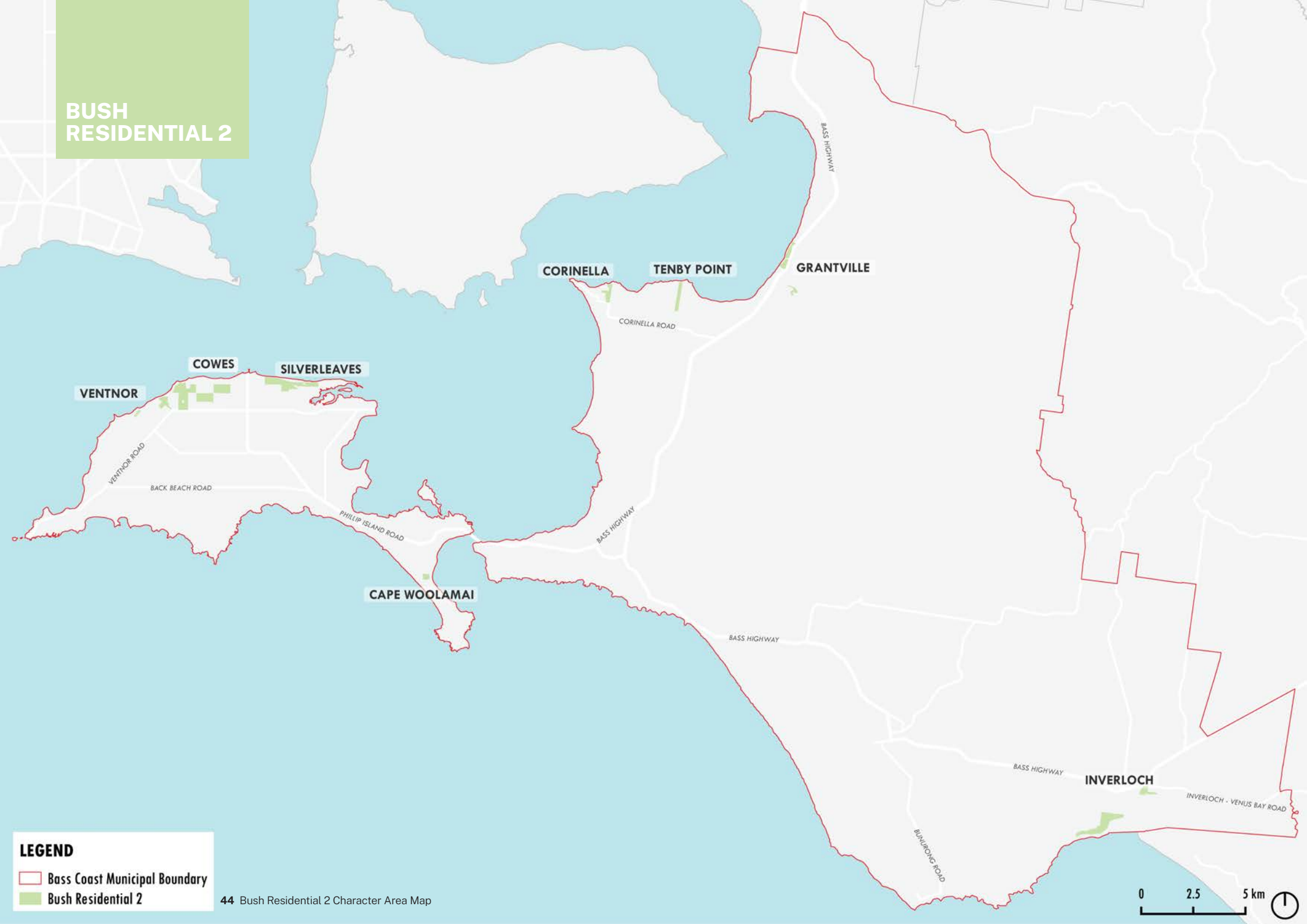
- Flat to Sloping topography
- Predominately views to surrounding vegetation and tree canopies, occasional views to coast.



Public Realm & Layout

- Informal street planting characterised by medium to high levels of mature, native canopy trees in nature strips ie. remnant coast banksia woodland in Silverleaves, mangrove shrubland in Rhyll, Coastal Headland Scrub in Corinella, Golden Cypress in Inverloch, Swampy Woodland at Tenby Point.
- Coastal reserves of indigenous woodland & forest ie. Coast Banksia Woodland and Coastal Dune Scrub.
- Streets mostly follow a modified grid layout, with winding roadways and cul-de-sacs.
- Streetscapes predominately feature sealed asphalt roads and no footpath, including a mix of sealed and unsealed crossovers.
- Occasional presence of unsealed road.
- Drainage usually consists of concrete rollover kerbs and occasional swales.

BUSH RESIDENTIAL 2



LEGEND

-  Bass Coast Municipal Boundary
-  Bush Residential 2



Preferred Character Statements

ALL AREAS

Streetscapes are dominated by medium to high levels of vegetation including mature, native canopy trees and lush undergrowth. Dwellings will sit below the existing tree canopy, provide pitched roofs and utilise a muted colour palette of earthen and bush tones to complement the vegetated landscape setting.

Dwellings will be sited to sit within the undulating landscape, to maximise intermittent views to the coastline and surrounding tree canopies and to integrate within the native tree canopy cover which flourishes in a spacious bushy setting.

Generous setbacks are provided to allow for the retention of dense native vegetation. Dwellings and carparking structures will often be obscured from view due to the density of native tree cover and remnant vegetation in private gardens which blends with the public realm.

Mostly sealed roads which wind through the undulating landscape, a lack of footpaths and absent, low or semi-transparent front fencing will enhance the bushy character of the precinct.

INCREMENTAL

Streets in Incremental Change areas will support medium scale development while still retaining dense native vegetation, remnant tree canopy and intermittent coastal and tree-top views to reinforce the bush setting of the precinct.

SUBSTANTIAL

Streets within Substantial Change areas will experience increased change through housing diversity at greater densities and heights, while still maintaining appropriate setbacks and nature strips for the retention and planting of native vegetation to reinforce bush setting of the precinct.

Neighbourhood Character Objectives

ALL AREAS

1. To ensure new development minimises disruption to dense native vegetation and mature tree canopy cover that often screens dwellings from view.
2. To retain and reinforce the bush setting of the precinct, characterised by dwellings which feature no or low, semi transparent front fences and flourishing private gardens which blend with the public realm.
3. To provide setbacks that allow for the retention and continued planting of native vegetation, while also ensuring that car parking structures do not dominate the streetscape.
4. To ensure new development positively responds to the preferred scale and styles of the precinct, characterised by predominantly low scale dwellings which utilise natural building materials and a muted colour palette of earthen and bush tones to complement the vegetated landscape setting.
5. To ensure the siting and orientation of dwellings maximises the retention and continued planting of native vegetation including mature native canopy trees and lush undergrowth.

INCREMENTAL

4. To ensure the built form of medium scale development positively responds to the preferred scale and styles of the precinct, utilising natural building materials and a muted colour palette of earthen and bush tones to complement the vegetated landscape setting.
5. To ensure the siting and orientation of new medium scale development enables the retention and planting of native canopy trees and lush undergrowth and contributes to the overall bush character of the precinct.

SUBSTANTIAL

4. To ensure new, higher density development on smaller lots positively responds to the preferred scale and styles of the precinct, utilising natural materials and a muted colour palette of earthen and bush tones to complement the vegetated landscape setting.
5. To maintain appropriate setbacks and spacing between dwellings in areas identified for higher density development to accommodate native canopy trees and lush undergrowth and to ensure the overall bush coastal setting is retained.

**BUSH
RESIDENTIAL 2**



Kilcunda



Silverleaves



Tenby Point



Silverleaves

Design Guidelines

Change Area	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should complement the shack style bungalow forms as well as varied buildings materials and siting of existing dwellings. • Buildings should not penetrate the indigenous and native tree canopy, where a canopy is present. • Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site. • New buildings at or near ridgelines should be designed and sited below the height of trees along the ridgeline. • Buildings should provide a pitched roof with prominent eaves. • Use non-reflective materials and finishes for walls, roofs and windows. • New development should use a muted colour palette of earthen and bush tones, particularly various greens, darker browns and greys which complement the bush setting. • Buildings must provide a high-quality landscaping response to the street that contributes to the public realm through innovative design, landscaping and open frontages. • In the case of side-by-side development, provide each dwelling with a separate roofline and a discernible sense of address. • Encourage contemporary building design and innovative architecture that articulates facades and responses to sensitive interfaces. • Locate habitable rooms and dwelling entrances to face the street where possible.
Minimal and Incremental	<ul style="list-style-type: none"> • New development should complement the low scale height of existing dwellings up to 2 storeys.
Substantial	<ul style="list-style-type: none"> • New development should complement the medium scale height of existing dwellings up to 3 storeys.
Siting and setbacks	
All areas	<ul style="list-style-type: none"> • New development should maintain generous setbacks that provide for visual breaks and garden areas. • Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site. • Minimise bulky built form by encouraging new development that steps up the slope of the site. • Buildings should be sited to take into account the sharing of view corridors to surrounding vegetation, tree canopies and the coast. • In residential areas adjacent to the coast, buildings should be sited to protect views both to and from the coast. • If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of indigenous and native canopy trees and understorey vegetation.
Minimal	<ul style="list-style-type: none"> • Buildings should be set back at least 3m from one side boundary to enable the planting of indigenous and native trees and understorey planting. • Ensure the siting of dwellings in residential areas in San Remo minimise impacts on the significant landscape character.

BUSH RESIDENTIAL 2

Incremental • Buildings should be set back at least 1m from one side boundary and 2m from the other side boundary to enable the planting of indigenous and native trees and understorey planting.

Substantial • Buildings should be set back at least 1m from one side boundary and 2m from the other side boundary to enable the planting of indigenous and native trees and understorey planting.
• Setback upper levels above 2 storeys to achieve visual recession.

Gardens and landscaping

All areas • Retain established or mature trees and provide space for the planting of new canopy trees and substantial vegetation. Where indigenous and larger native species cannot be retained on a site where present (Phillip Island and Inverloch) the site should provide adequate space for offset planting of indigenous and native trees that will grow to a mature height similar to the height of the tree that was removed.
• Provide landscaping along shared driveways and laneways to soften the appearance of buildings, fencing and hardstand areas.
• Prepare and implement a landscape plan to accompany all applications for new dwellings that utilises appropriate indigenous and native species as identified in the *Bass Coast Preferred Species List*.
• Plant vegetation and trees in the public realm, including nature strips in accordance with the *Bass Coast Urban Forest Strategy*.
• Buildings should not exceed 40% site coverage.
• Provide at least 40% of site as permeable surface.

Minimal • Provide indigenous and native canopy trees occurring at a density of one to every 100m² across the site.

Incremental and Substantial • Provide indigenous and native canopy trees occurring at a density of one to every 150m² across the site.

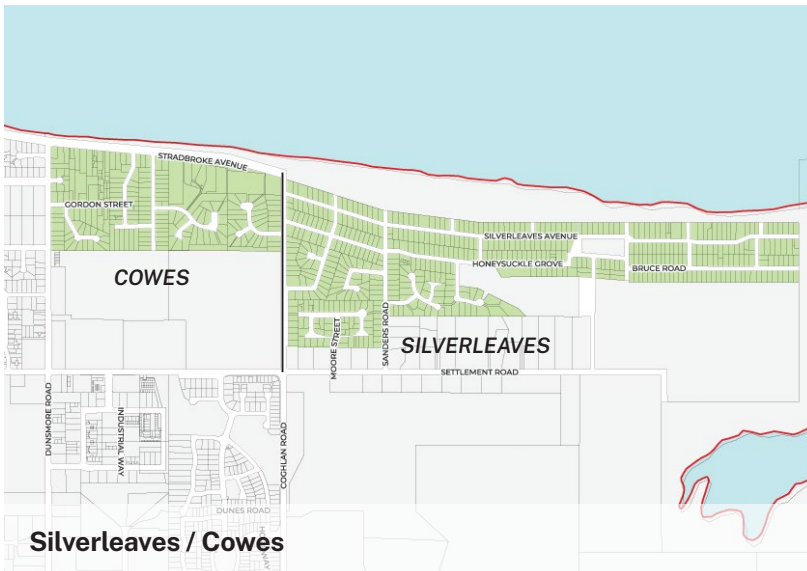
Garage storage and vehicle access

All areas • Locate garages and carports in line or behind the front façade of the dwelling, ensuring that they do not dominate streetscape.
• Provide only one vehicular crossover per typical site frontage.
• Limit the width of vehicle accessways and support unsealed crossovers that blend with the existing landscape.
• Use permeable driveway materials.
• Provide landscaping and plantings to soften the appearance of driveways
• Minimise paving in front yards, including the driveway.
• In the case of side-by-side development, space the vehicle crossovers to retain the existing rhythm of the street.

Front fencing

All areas • Fencing should be set back from the front site boundary to allow for landscaping in front of the fence.
• A front fence within 3 metres of a street should provide no or a low, open style up to 1m in height, constructed of timber or post and wire.

BUSH RESIDENTIAL 2



COASTAL CONTEMPORARY



Character Description

The Coastal Contemporary precinct comprises Contemporary building styles set within Modern subdivision layouts. Buildings are detached and generally double storey, and are constructed with a blend of materials including brick, render and weatherboard, all reflective of a palette of softer, neutral tones that are sympathetic to the surrounding landscape character. Dwellings are consistently setback from the front and side boundaries and a lack of front fencing and remnant vegetation in the public realm creates a sense of openness to the streetscape. Formal establishing garden settings feature a mix of low-lying, native coastal bushes, shrubs and garden beds.

A key characteristic of the precinct are the common views to the surrounding hinterlands, coast and surrounding residential areas, afforded by curvilinear streets that respond to the undulating topography. Dwellings are often sited further back on each of the allotments to take advantage of the topography and maximise views.

Vegetation in the public realm is generally low-level, due to the establishing nature of the precinct consisting of grassed nature strips and the occasional low level canopy which blend into the formally landscaped private realm, due to the general absence of front fencing. Footpaths are generally present and rollover kerbs are common throughout.

Character Attributes



Architectural Style, Form & Layout

- Building styles predominantly Modern (1980s-2000s) and Contemporary.
- Buildings are predominantly detached.
- Front façades are articulated with the use of verandahs, recesses, windows and doorways.



Materials & Colours

- Dwellings feature a blend of materials comprising render, weatherboard and brick.
- Neutral colour palette sympathetic to the surrounding landscape.



Building Scale & Height

- Predominantly two storey, detached dwellings.



Roof Styles

- Combination of flat, skillion and gabled roof forms made of metal.



Garages & Carports

- Car parking is frequently constructed on the side boundary.
- Vehicle storage is typically located in line or behind the front facade.



Orientation & Setback

- Dwellings are oriented parallel to address the street.
- Dwellings are sited further back on allotments to maximise views.
- Consistent front setbacks, ranging from 3m to 6m.
- Side setbacks range from 1m to 2m.



Lot Size & Subdivision

- Mix of small-medium lot sizes, generally between 500-800m².



Front Fencing

- General absence of front fencing.



Gardens & Vegetation

- Low to medium level vegetation.
- Predominantly grassed front gardens with native shrubbery in formal planting styles.



Landscape Character (Bass Coast Landscape Assessment Review - Volume 1: Feb 2022)

- Landscape Type 1: South Gippsland Coastal Plains
 - Westernport & Bass River Lowlands
 - Bunurong Coast & Powlett River Lowlands
 - Inverloch & Anderson Inlet
- Landscape Type 2: Bass Strait Coastal Cliffs
 - Phillip Island Coastal Cliffs
- Landscape Type 3: Strzelecki Highlands
 - Bass Hills & Kilcunda Coast



Views & Topography

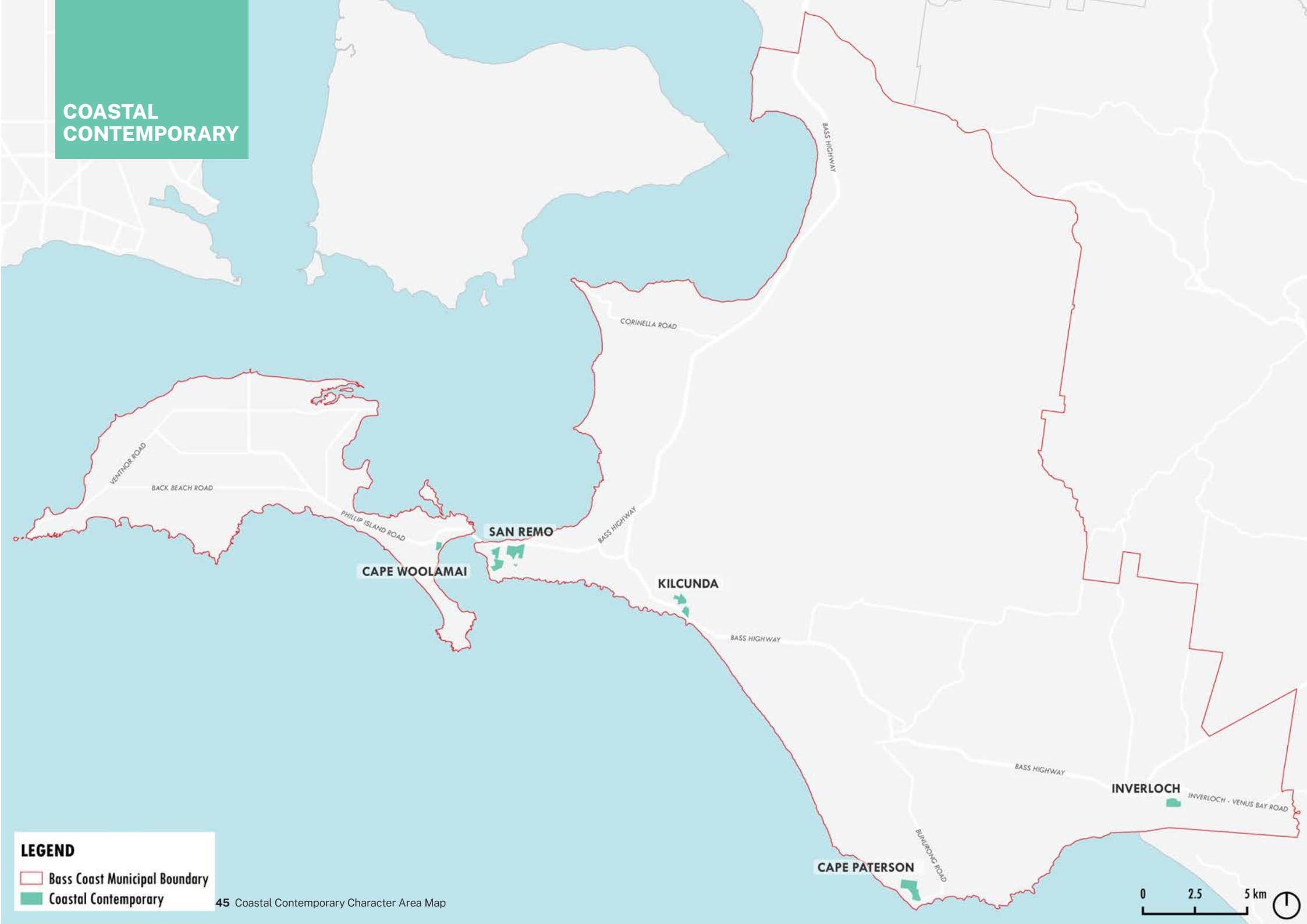
- Sloping topography providing views to surrounding rural hinterlands, coast and surrounding residential areas dependant on location.



Public Realm & Layout

- Streets are narrow and follow a curvilinear, court-based, street pattern with nature strips with kerbs and channels.
- Sealed, asphalt roads and vehicle crossovers.
- Grid street layouts are interspersed throughout the area.
- Footpaths are generally present on one side of the street.
- Low levels of vegetation with native trees and shrubs planted on nature strips.
- Grassy nature strips is a common sight.

COASTAL CONTEMPORARY



LEGEND

- Bass Coast Municipal Boundary
- Coastal Contemporary



Preferred Character Statements

ALL AREAS

New development will reflect the moderate scale and built forms of existing contemporary dwellings, using contemporary facade articulation, a consistent palette of natural building materials and neutral tones sympathetic to the surrounding coastal landscape character.

New development will be designed to respond to the undulating topography of the land, to maximise views to the coast and rural hinterlands and to make reasonable effort to ensure view sharing between neighbouring properties.

Front and side setbacks will allow for the retention and continued planting of native vegetation and tree canopy within flourishing formal garden settings and grassed lawns.

Vehicle storage will be located in line of or behind the dwelling facade, and will be visually unobtrusive and integrated with the design of the dwelling.

Low or permeable fencing will allow for views through to dwellings and front garden areas, reinforcing the informal transition between the public and private realms and the open, coastal feel of the precinct.

Vistas around streets bends and courts will be characterised by grassed nature strips with native plantings, establishing canopy trees and footpaths on one side of the street.

INCREMENTAL

Streets in Incremental Change areas will support contemporary medium scale development which reinforces the coastal landscape character of the precinct, featuring dwellings designed to respond to the undulating topography and to retain native vegetation and access to coastal and hinterland views.

SUBSTANTIAL

Streets within Substantial Change areas will experience increased change through housing diversity at greater densities and heights, while still maintaining contemporary dwellings which feature appropriate setbacks and space for native vegetation to reinforce the coastal landscape character of the precinct.

Neighbourhood Character Objectives

ALL AREAS

1. To retain the openness of the streetscape, characterised by absent, or low front fences with views to front garden areas and limited delineation between native vegetation, grassed lawns and formal planting in the public and private realms.
2. To ensure new development responds to the undulating topography of the land and is sited to maximise coastal views and makes reasonable effort to ensure view sharing between neighbouring properties.
3. To ensure new development does not dominate the streetscape and minimises the dominance of car parking access and structures instead.
4. To ensure new development positively responds to the preferred scale and contemporary styles of the precinct, utilising contemporary facade articulation, a consistent palette of natural building materials and neutral tones sympathetic to the surrounding coastal landscape character.
5. To maintain and improve the coastal character of the area through encouraging the retention and continued planting of native vegetation and tree canopy within the private realm.

INCREMENTAL

4. To ensure new development positively responds to the preferred building materials, scale and styles of the precinct, characterised by detached, medium scale dwellings with a contemporary architectural style that utilise natural materials and a neutral colour palette sympathetic to the coastal landscape setting.
5. To maintain appropriate spacing between dwellings in areas identified for medium scale development to promote the retention and planting of vegetation and maximise coastal views.

SUBSTANTIAL

4. To ensure new development positively responds to the preferred building materials, scale and styles of the precinct, characterised by contemporary townhouse and unit developments that utilise natural materials and a neutral colour palette sympathetic to the coastal landscape setting.
5. To maintain consistent lot sizes and setbacks to ensure increased housing densities close to activity centres and consideration of the retention of native coastal vegetation and view sharing.

**COASTAL
CONTEMPORARY**



Design Guidelines

Change Area	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should complement the contemporary building design, coastal architectural styles and siting of existing dwellings. • Buildings should provide prominent eaves in all roof forms. • Use non-reflective materials and finishes for walls, roofs and windows. • New development should use a neutral colour palette of natural coastal tones, particularly browns, greys and neutrals which are sympathetic to the surrounding coastal landscape. • Orient buildings parallel to the street and to maximise coastal views and incorporate façade articulation with verandahs, recesses, windows and doorways. • Buildings must provide a high-quality landscaping response to the street that contributes to the public realm through innovative design, landscaping and open frontages. • Ensure the main pedestrian entrance is legible in the streetscape while the vehicle entry is designed to be less prominent. • Encourage innovative and integrated balcony and window screening treatments where required to address overlooking requirements. • Encourage contemporary building design and innovative architecture that articulates facades and responses to sensitive interfaces. • Locate habitable rooms and dwelling entrances to face the street where possible. • Minimise the visibility of infrastructure and services from the public realm and other sensitive interfaces. • In the case of side-by-side development, provide each dwelling with a separate roofline and a discernible sense of address.
Minimal	<ul style="list-style-type: none"> • New development should complement the low scale height of existing dwellings up to 2 storeys.
Incremental	<ul style="list-style-type: none"> • New development should complement the medium scale height of existing dwellings up to 3 storeys.
Substantial	<ul style="list-style-type: none"> • New development should not exceed 5 storeys.
Siting and setbacks	
All areas	<ul style="list-style-type: none"> • New development should maintain consistent setbacks that provide for visual breaks and garden areas. • Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site. • Minimise bulky built form by encouraging new development that steps up the slope of the site. • Buildings should be sited to take into account the sharing of view corridors to the coast, bays and surrounding rural hinterlands. • In residential areas adjacent to the coast, buildings should be sited to protect views both to and from the coast. • In the case of multi-dwellings on a lot, design the front dwelling to present as one dwelling to the street through the use of roof forms, materials and design detail. • If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of canopy trees and understorey coastal vegetation.
Minimal	<ul style="list-style-type: none"> • Buildings should be set back at least 2m from both side boundaries to retain spacing between buildings and enable landscaping. • Ensure the siting of dwellings in residential areas in San Remo minimise impacts on the significant landscape character.

- Incremental and Substantial**
- Buildings should be set back at least 1m from one side boundary and 2m from the other side boundary.
 - Setback upper levels above 2 storeys to achieve visual recession.

Gardens and landscaping

- All areas**
- Retain established or mature trees and provide space for the planting of new canopy trees and vegetation. Where indigenous and larger native species cannot be retained on a site where present (ie. Cape Paterson, Phillip Island and Inverloch) the site should provide adequate space for offset planting of indigenous and native trees that will grow to a mature height similar to the height of the tree that was removed.
 - Avoid tall, exotic or screening vegetation to allow for views to coast in front of and between dwellings.
 - Provide landscaping along shared driveways and laneways to soften the appearance of buildings, fencing and hardstand areas.
 - Prepare and implement a landscape plan to accompany all applications for new dwellings that utilises species identified in the *Bass Coast Preferred Species List*.
 - Maintain the more formal coastal garden setting of the precinct by encouraging the provision of garden beds in front yards with space for new vegetation to establish, including along fence lines, driveways, front façades and other accessways.
 - Plant vegetation and trees in the public realm, including nature strips in accordance with the *Bass Coast Urban Forest Strategy*.

- Minimal**
- Provide indigenous and native canopy trees occurring at a density of one to every 250m² across the site.

- Incremental and Substantial**
- Provide indigenous and native canopy trees occurring at a density of one to every 300m² across the site.

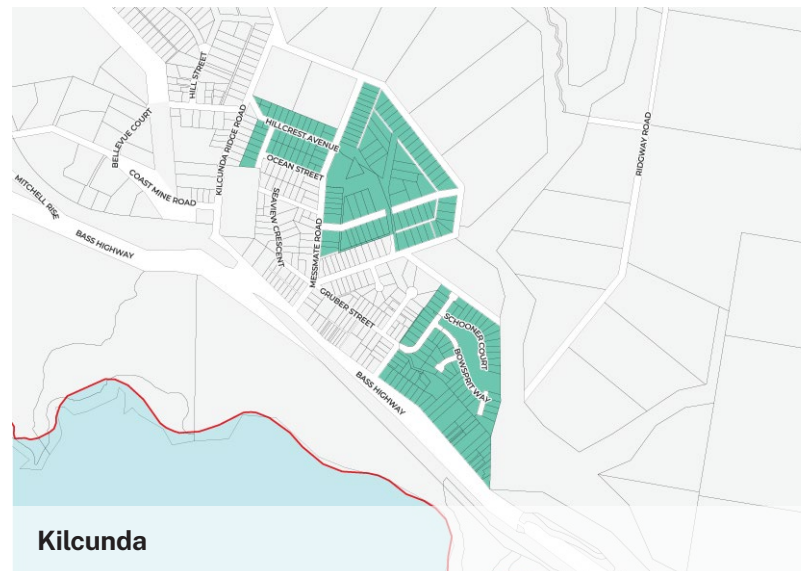
Garage storage and vehicle access

- All areas**
- Locate garages and carports in line or behind the front façade of the dwelling, ensuring that they do not dominate streetscape.
 - Provide only one vehicular crossover per typical site frontage.
 - Limit the width of vehicle accessways and support unsealed crossovers that blend with the existing landscape.
 - Provide landscaping and plantings to soften the appearance of driveways
 - Minimise paving in front yards, including the driveway.
 - In the case of side-by-side development, space the vehicle crossovers to retain the existing rhythm of the street.
 - Where a rear Right of Way exists, vehicle storage should be located at the rear of a dwelling.
 - Encourage basement car parking where it does not impact the ground water table and overall height of the building or deep soil available for tree planting in setbacks.

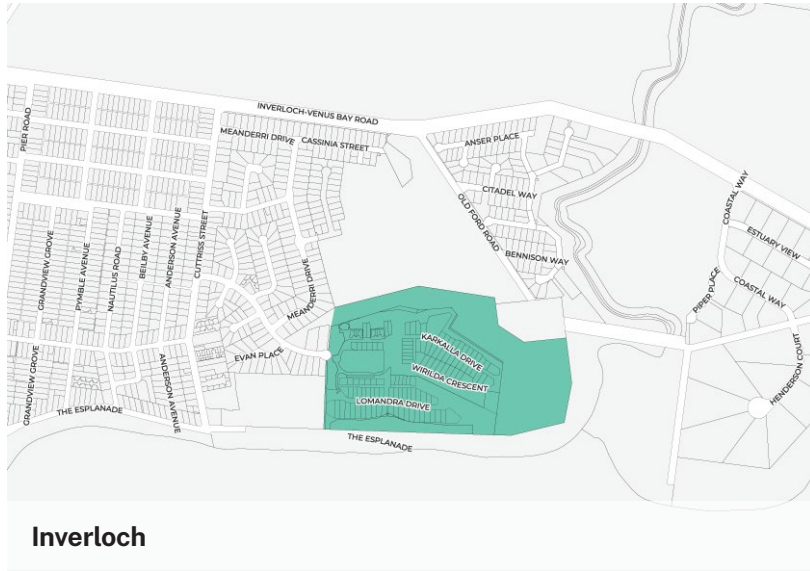
Front fencing

- All areas**
- Fencing should be set back from the front site boundary to allow for landscaping in front of the fence.
 - A front fence within 3 metres:
 - should provide no or a low, visually permeable style up to 0.8m in height.
 - may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability.

COASTAL CONTEMPORARY



COASTAL CONTEMPORARY



Inverloch

COASTAL RESIDENTIAL



Character Description

The Coastal Residential precinct is characterised by medium to high density residential areas that are adjacent to the coast and consists of a mix of architectural styles from both the Post-war and Modern eras. There is a mixture of building heights, comprising predominantly of one and two storey dwellings. Higher density development is located surrounding the Cowes and Inverloch town centre, including apartments and townhouses. Buildings are constructed from a range of materials including brick, concrete and weatherboard and roof forms also vary from gabled, flat and skillion, all predominantly constructed of tile and metal.

Front and side setbacks are generally consistent. A key attribute of this precinct is its close proximity to the coast and general contribution to the core residential area in the township.

Grassed nature strips feature occasional tree canopy which is a mix of native and non-native and blend in with the private gardens which include landscaped hedging and low level canopy. Fencing is generally absent, allowing for views through to front garden spaces. But where it is prominent it is constructed from a range of materials, including timber and metal.

Roads are wide and include a kerb and channel. Footpaths are generally not present.

Character Attributes



Architectural Style, Form & Layout

- Mix of Post-war and Modern era styles, reflective of varying building styles and material finishes.
- Buildings are predominantly detached with occasional apartments.
- Front façades are articulated with the use of porches, recesses, windows and doorways.



Materials & Colours

- Predominantly concrete, brick and weatherboard.



Building Scale & Height

- Mixture of building heights, comprising predominantly of one to two storey dwellings. Occasional apartments and taller dwellings also feature on the esplanade.



Roof Style

- Mix of hipped, gabled and flat roofs constructed of tile and metal.



Garages & Carports

- Car parking is frequently constructed on the side boundary.
- Occasional presence of informal, open carport styles.
- Vehicle storage is typically in line with the front facade.



Orientation & Setback

- Dwellings are oriented parallel to address the street.
- Consistent front setbacks across all development, ranging from 3m-6m.
- Side setbacks range from 1m to 2m.



Lot Size & Subdivision

- Mix of small-moderate lot sizes, generally between 500-800m².



Front Fencing

- A predominant absence of front fences.
- Where a fence is provided it is either transparent or solid, between 1-1.5m high and constructed of timber or metal.



Gardens & Vegetation

- Medium level vegetation in the private realm.
- Gardens feature a mixture of established native shrubs with the occasional canopy ie. Norfolk Pines and Moreton Bay Figs in Cowes and Golden Cypress in Inverloch.



Landscape Character (Bass Coast Landscape Assessment Review - Volume 1: Feb 2022)

- Landscape Type 1: South Gippsland Coastal Plains
 - Westernport & Bass River Lowlands
 - Phillip Island North Coast & Hinterland
 - Inverloch & Anderson Inlet
- Landscape Type 2: Bass Strait Coastal Cliffs
 - Phillip Island Coastal Cliffs
- Landscape Type 3: Strzelecki Highlands
 - Bass Hills & Kilcunda Coast
- Landscape Type 4: Westernport Localised Flatlands
 - Coastal Mangroves & Mudflats



Views & Topography

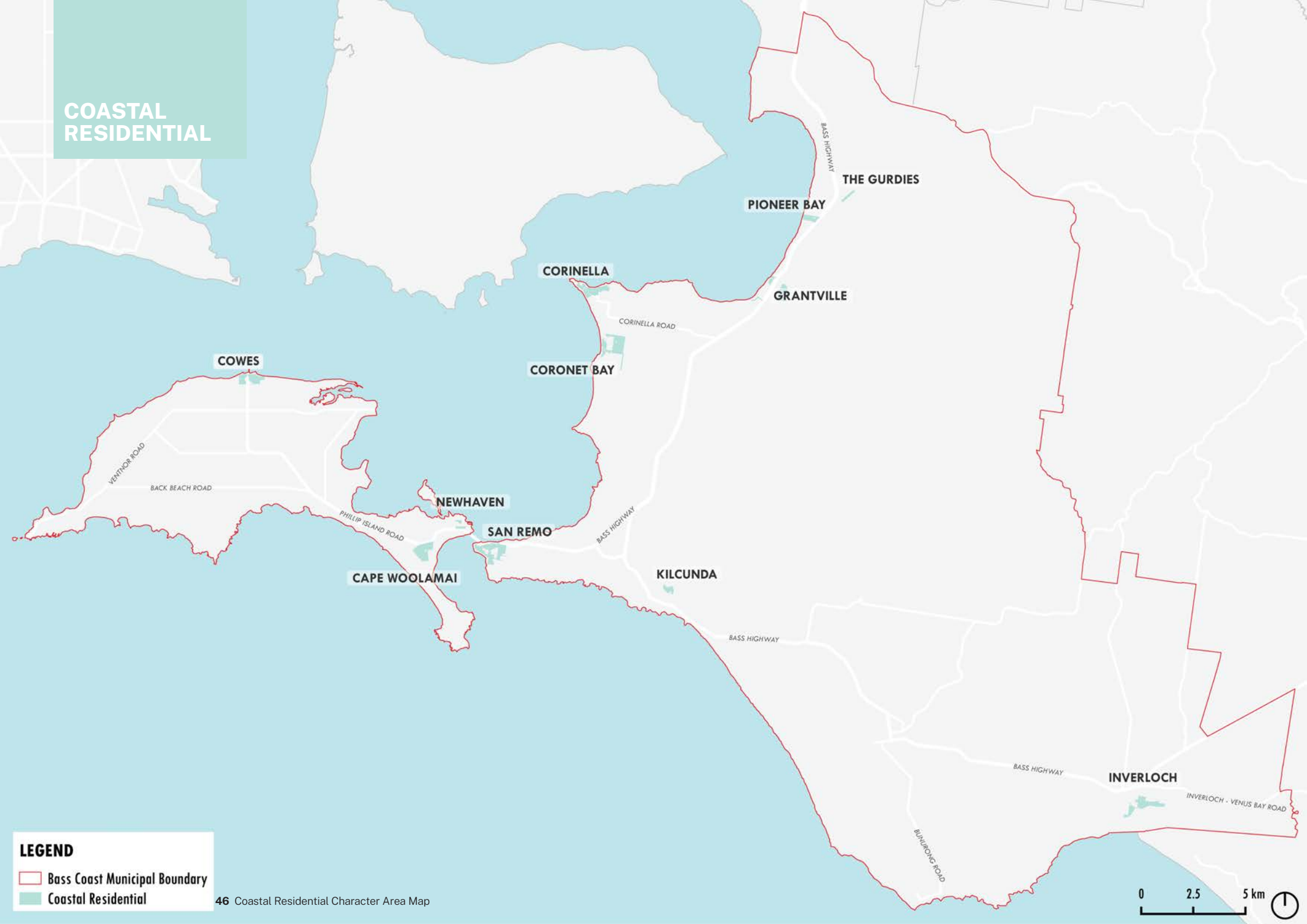
- The flat to sloping topography facilitates intermittent views to the coast.



Public Realm & Layout

- Streets are wide and follow a formal grid layout.
- Footpaths are not present.
- Roads are sealed, asphalt and feature concrete kerbs and channels.
- Sealed crossovers are common but occasionally appear unsealed.
- Nature strips include medium levels of vegetation with native canopy.

COASTAL RESIDENTIAL



LEGEND

- Bass Coast Municipal Boundary
- Coastal Residential



Preferred Character Statements

ALL AREAS

New development will be consistent with the moderate scale, built form and diversity of existing dwellings intrinsic to these established coastal residential areas.

New development will use contemporary facade articulation and a consistent palette of neutral colours and natural materials to respond to the coastal landscape.

The streets of these core coastal residential areas will continue to be defined by grassed nature strips which feature medium levels of native shrubs and tree canopy such as Norfolk Pines, Moreton Bay Figs and Golden Cyprus.

New development will be designed to respond to the topography of the land, to retain intermittent views to the coast and to make reasonable effort to ensure view sharing between neighbouring properties.

Front and side setbacks will be consistent and allow for the retention of remnant native vegetation, and the increased planting of native coastal vegetation within front gardens.

Low or permeable fencing will allow for views through to dwellings and front garden areas, reinforcing the informal transition between the public and private realms and the open, coastal feel of the precinct.

INCREMENTAL

Streets in Incremental Change areas will support medium scale development while still retaining native coastal vegetation, access to coastal views and appropriate setbacks to provide ample space for increased vegetation to reinforce the coastal feel of the precinct.

SUBSTANTIAL

Streets within Substantial Change areas will experience increased change through housing diversity at greater densities and heights, while still retaining native coastal vegetation, access to coastal views, appropriate setbacks to provide ample space for increased vegetation and to reinforce the coastal feel of the precinct.

Neighbourhood Character Objectives

ALL AREAS

1. To reinforce and strengthen the open, coastal feel of the precinct, characterised by limited delineation between the public and private realm and absent or semi-transparent front fencing.
2. To ensure new development is sited to retain intermittent views to the coast and makes reasonable effort to ensure view sharing between neighbouring properties.
3. To ensure new development does not dominate the streetscape and minimises the dominance of car parking access and structures instead.
4. To ensure new development positively responds to the preferred scale and styles of the precinct, characterised by moderate scale dwellings utilising contemporary facade articulation, neutral colour palette and natural materials sympathetic to the coastal landscape setting.
5. To strengthen the coastal character of the area through the retention and continued planting of native coastal vegetation including established native canopy trees and level shrubs.

INCREMENTAL

4. To ensure the built form of medium scale development positively responds to the preferred scale and styles of the precinct, utilising contemporary facade articulation, neutral colour palette and natural materials sympathetic to the coastal landscape setting.
5. To ensure new medium scale development provides for the retention and continued planting native coastal vegetation to strengthen the coastal character of the precinct.

SUBSTANTIAL

4. To ensure new, higher density development on smaller lots positively responds to the preferred scale and styles of the precinct, utilising contemporary facade articulation, neutral colour palette and natural materials sympathetic to the coastal landscape setting.
5. To ensure appropriate setbacks are maintained in areas identified for higher density development to enable the retention and continued planting of native coastal vegetation to strengthen the coastal character of the precinct.

**COASTAL
RESIDENTIAL**



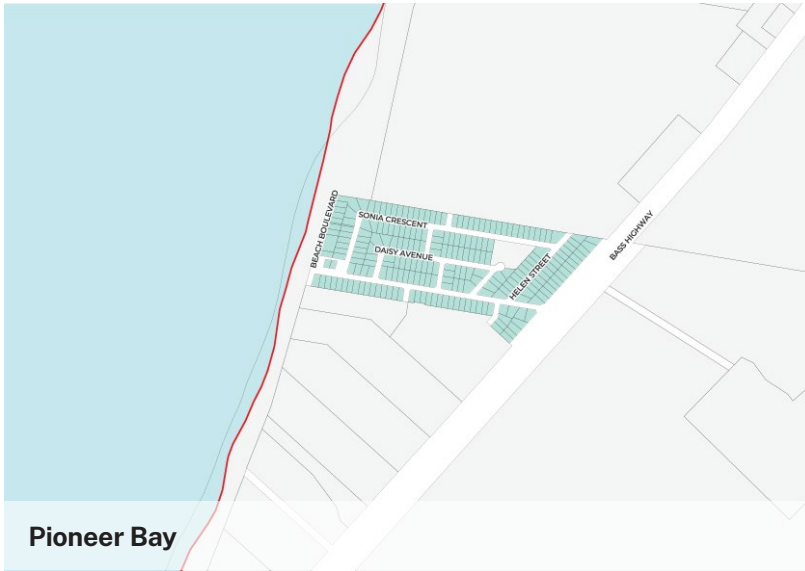
Design Guidelines

Change Area	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should complement the varied building forms, coastal architectural styles and siting of existing dwellings. • Buildings should provide prominent eaves in all roof forms. • Use non-reflective materials and finishes for walls, roofs and windows. • New development should use a neutral colour palette of natural coastal tones, particularly browns, greys and neutrals which are sympathetic to the surrounding coastal landscape. • Orient buildings parallel to the street and incorporate façade articulation with porches, recesses, awnings, windows and doorways. • Buildings must provide a high-quality landscaping response to the street that contributes to the public realm through innovative design, landscaping and open frontages. • Ensure the main pedestrian entrance is legible in the streetscape while the vehicle entry is designed to be less prominent. • Encourage innovative and integrated balcony and window screening treatments where required to address overlooking requirements. • Encourage contemporary building design and innovative architecture that articulates facades and responses to sensitive interfaces. • Locate habitable rooms and dwelling entrances to face the street where possible. Minimise the visibility of infrastructure and services from the public realm and other sensitive interfaces. • In the case of side-by-side development, provide each dwelling with a separate roofline and a discernible sense of address.
Minimal	<ul style="list-style-type: none"> • New development should complement the low scale height of existing dwellings up to 2 storeys.
Incremental	<ul style="list-style-type: none"> • New development should complement the medium scale height of existing dwellings up to 3 storeys.
Substantial	<ul style="list-style-type: none"> • New development should not exceed 5 storeys.
Siting and setbacks	
All areas	<ul style="list-style-type: none"> • New development should maintain consistent setbacks that provide for visual breaks and garden areas. • Buildings should be designed to follow the topography of the land and minimise the need for cut and fill throughout the site. • Buildings should be sited to take into account the sharing of view corridors to the ocean or shoreline down neighbourhood streets, from nearby properties and public areas. • For developments abutting the coast, dwellings should be orientated to the foreshore. • In residential areas adjacent to the coast, buildings should be sited to protect views both to and from the coast. • In the case of multi-dwellings on a lot, design the front dwelling to present as one dwelling to the street through the use of roof forms, materials and design detail. • If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of canopy trees and understorey coastal vegetation.

COASTAL RESIDENTIAL

Minimal	<ul style="list-style-type: none"> • Buildings should be set back at least 2m from both side boundaries to retain spacing between buildings and enable landscaping. • Ensure the siting of dwellings in residential areas in San Remo minimise impacts on the significant landscape character.
Incremental and substantial	<ul style="list-style-type: none"> • Buildings should be set back at least 1m from one side boundary and 2m from the other side boundary to retain spacing between buildings and enable landscaping. • Setback upper levels above 2 storeys to achieve visual recession.
Gardens and landscaping	
All areas	<ul style="list-style-type: none"> • Retain existing indigenous and native canopy trees and coastal vegetation and replant wherever possible. Where indigenous and larger native species cannot be retained on a site where present (ie. Phillip Island and Inverloch) the site should provide adequate space for offset planting of indigenous and native trees that will grow to a mature height similar to the height of the tree that was removed. • Minimise tall, exotic or screening vegetation to allow for views to coast in front of and between dwellings. • Provide landscaping along shared driveways and laneways to soften the appearance of buildings, fencing and hardstand areas. • Prepare and implement a landscape plan to accompany all applications for new dwellings that utilises species identified in the <i>Bass Coast Preferred Species List</i>. • Plant vegetation and trees in the public realm, including nature strips in accordance with the <i>Bass Coast Urban Forest Strategy</i>.
Minimal	<ul style="list-style-type: none"> • Provide indigenous and native canopy trees occurring at a density of one to every 150m² across the site.
Incremental and substantial	<ul style="list-style-type: none"> • Provide indigenous and native canopy trees occurring at a density of one to every 200m² across the site.
Garage storage and vehicle access	
All areas	<ul style="list-style-type: none"> • Locate garages and carports in line or behind the front façade of the dwelling, ensuring that they do not dominate streetscape. • Provide only one vehicular crossover per typical site frontage. • Limit the width of vehicle accessways and support unsealed crossovers that blend with the existing landscape. • Provide landscaping and plantings to soften the appearance of driveways • Minimise paving in front yards, including the driveway. • In the case of side-by-side development, space the vehicle crossovers to retain the existing rhythm of the street. • Where a rear Right of Way exists, vehicle storage should be located at the rear of a dwelling. • Encourage basement car parking where it does not impact the ground water table and overall height of the building or deep soil available for tree planting in setbacks.
Front fencing	
All areas	<ul style="list-style-type: none"> • Fencing should be set back from the front site boundary to allow for landscaping in front of the fence. • A front fence within 3 metres: <ul style="list-style-type: none"> - should provide no or a low, visually permeable style up to 1.5m in height, constructed of timber or metal. - may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability.

COASTAL RESIDENTIAL



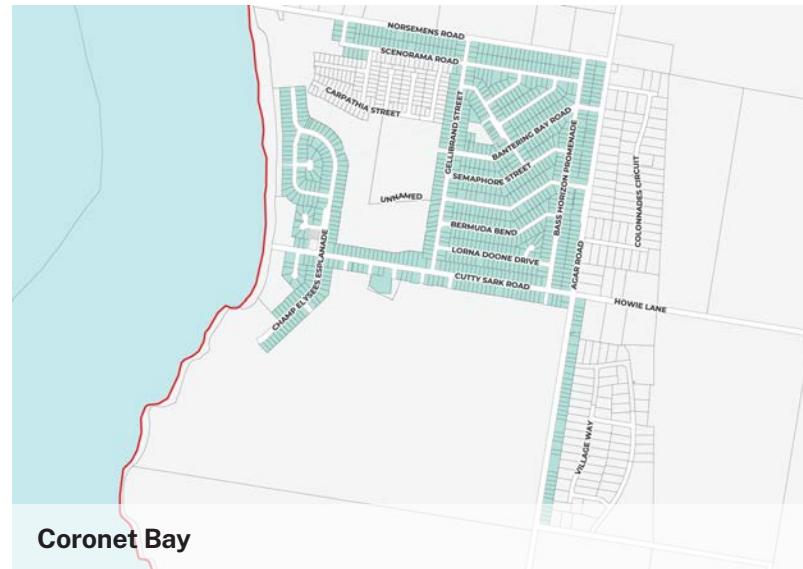
Pioneer Bay



Grantville



Corinella

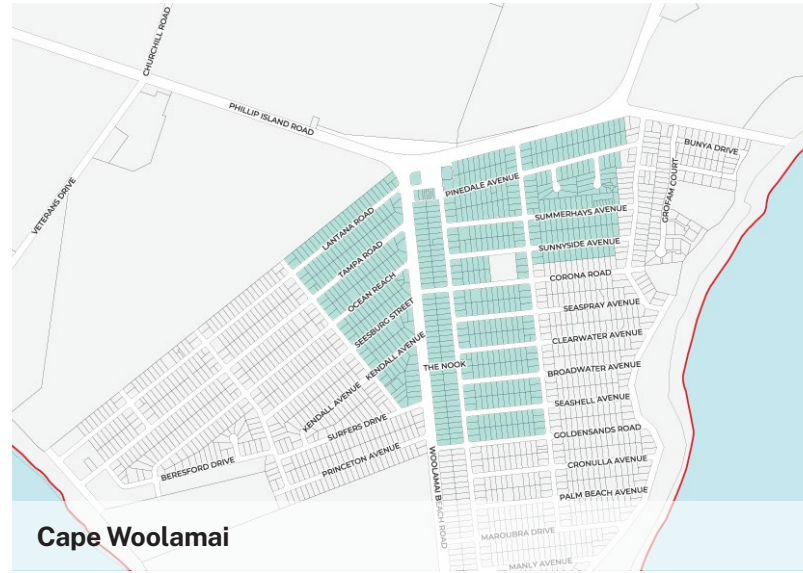


Coronet Bay

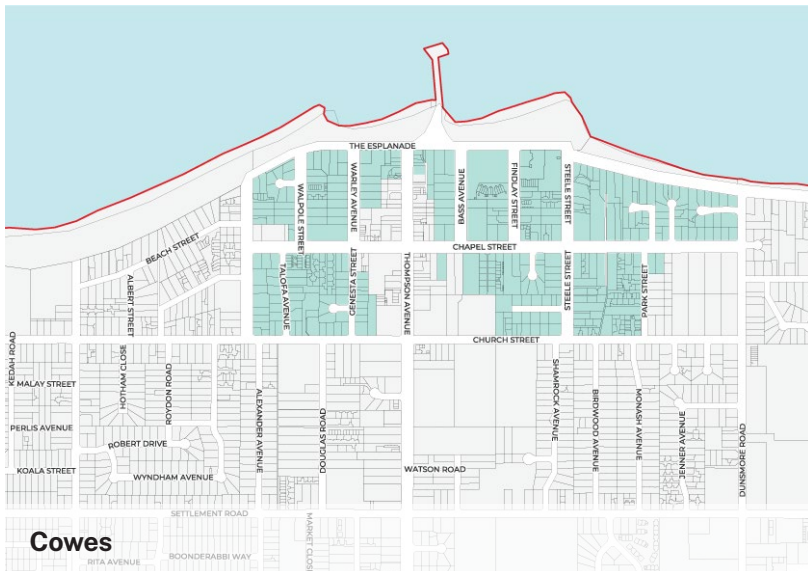
COASTAL RESIDENTIAL



San Remo



Cape Woolamai

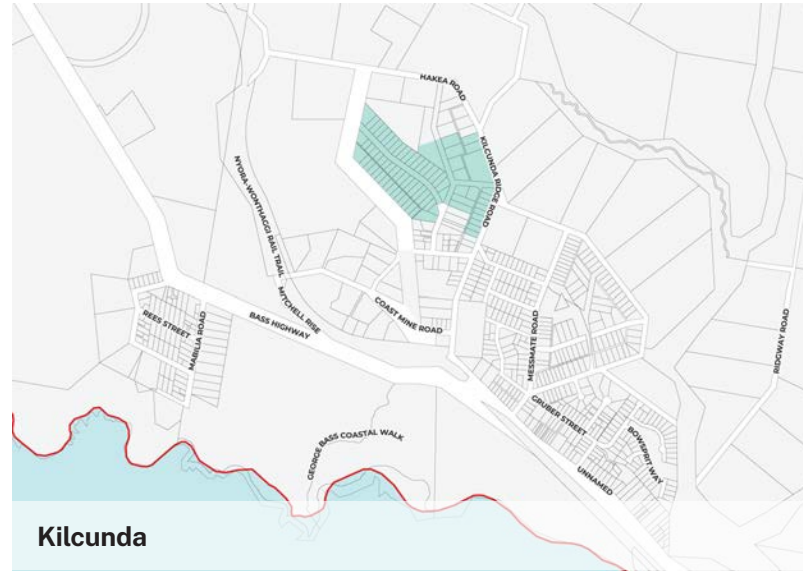


Cowes



Inverloch

COASTAL RESIDENTIAL



GARDEN COURT



Character Description

The Garden Court precinct is characterised by residential estates and consistently formal streetscapes. Featuring typically flat topography, this precinct predominantly comprises contemporary dwellings with establishing gardens, comprising mostly native species and lawns.

Dwellings are predominantly detached and single storey, with areas in Inverloch and Cowes featuring double storey development. Dwellings are constructed of brick and render featuring predominantly gabled and skillion roofs. Front and side setbacks within this precinct are slightly less generous than other areas. The consistent setbacks create a sense of uniformity within the streetscape. No front fencing allows views to the buildings and front garden spaces.

Vegetation within the private realm is generally present at low levels and formal, with many gardens still yet to be established. The public realm is also characterised by low levels of vegetation, often consisting of grassed nature strips. Roads are sealed and footpaths are generally present on one side of the street.

Character Attributes



Architectural Style, Form & Layout

- Predominantly Contemporary dwellings constructed in the early 2000s.
- Buildings are predominantly detached.
- Front façades are articulated with the use of porches, recesses, windows and doorways.
- Repetitive building and roof forms



Materials & Colours

- Predominantly brick and render.



Building Scale & Height

- Predominantly one storey detached single dwellings.
- Occasional double storey dwellings.



Roof Styles

- Predominantly gabled and skillion roofs constructed of tile or metal.



Garages & Carports

- Car parking is frequently constructed on the side boundary.
- Vehicle storage is typically located in line or behind the front facade.



Orientation & Setback

- Dwellings are oriented parallel to address the street.
- Consistent front setbacks, ranging from 3m to 6m.
- Side setbacks range from 1m to 2m.



Lot Size & Subdivision

- Mix of small-medium lot sizes, generally between 500-800m².



Front Fencing

- General absence of front fencing.



Gardens & Vegetation

- Low level vegetation and formal planting styles in front gardens with a mixture of maturing native and exotic species.



Landscape Character (Bass Coast Landscape Assessment Review - Volume 1: Feb 2022)

- Landscape Type 1: South Gippsland Coastal Plains
 - Phillip Island North Coast & Hinterland
 - Bunurong Coast & Powlett River Lowlands
 - Inverloch & Anderson Inlet
- Landscape Type 3: Strzelecki Highlands
 - Bass Hills & Kilcunda Coast
 - The Gurdies Hills



Views & Topography

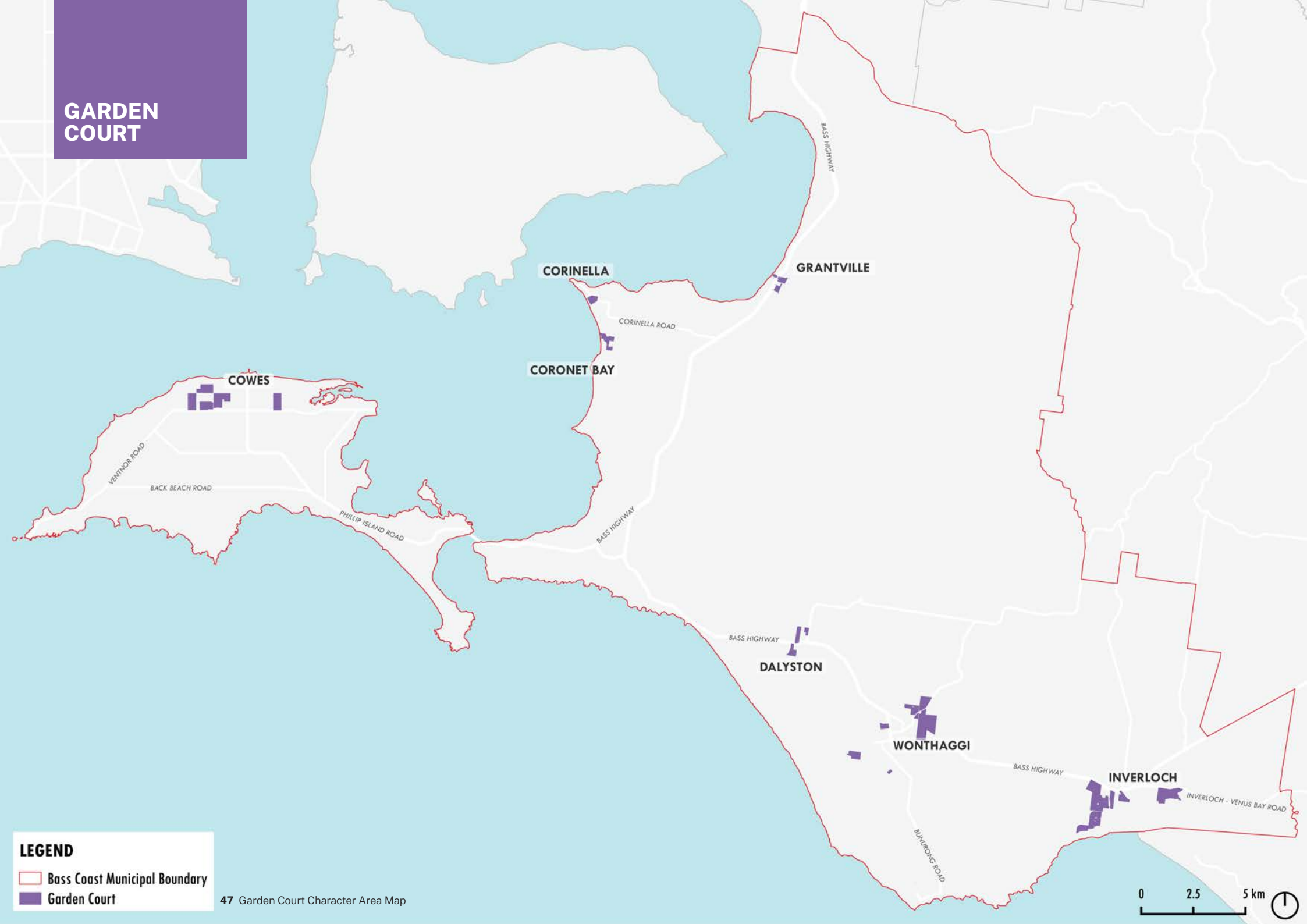
- Topography is generally flat.
- No views.



Public Realm & Layout

- Streets are narrow and follow a court-based, street pattern with nature strips with a mixture of rollover kerbs and kerbs and channels.
- Sealed, asphalt roads and vehicle crossovers.
- Footpaths are generally present on one side of the street.
- Lower levels of vegetation with young trees planted on nature strips.
- Grassy nature strips is common.

GARDEN COURT



LEGEND

-  Bass Coast Municipal Boundary
-  Garden Court



Preferred Character Statements

ALL AREAS

New development sits within a formal landscape setting, and dwellings utilise contemporary facade articulation, consistent material palette of brick and render.

Consistent setbacks will provide sufficient space for the planting of canopy trees and the maturity of vegetation in establishing front garden settings.

Views to front gardens and the openness of the streetscape will be maintained by absent or low and permeable front fences. The spaciousness of the streetscape and amenity of the public realm will be enhanced by flourishing grassed nature strips and footpaths present on one side of the street.

Vehicle storage does not dominate the streetscape, and will be located in line or behind the façade. Sealed asphalt roads and vehicle crossovers provide a sense of formality and order within the precinct. Establishing vegetation in both the private and public realm softens the transition between the natural and built environment.

INCREMENTAL

Streets in Incremental Change areas will support medium scale developments which are contemporary in design and feature well-articulated façades, consistent setbacks and flourishing front gardens with establishing vegetation.

SUBSTANTIAL

Streets within Substantial Change areas will experience increased change through housing diversity at greater densities and heights, achieving residential development that is uniform but well-articulated in design. The openness of the streetscape will be enhanced by an absence of front fences and consistent setbacks which provide for the planting of increased vegetation.

Neighbourhood Character Objectives

ALL AREAS

1. To maintain and strengthen the garden settings of dwellings to provide for increased planting of native species and to allow vegetation to reach maturity.
2. To retain the openness and rhythm of the streetscape, reinforced by absent or low and permeable front fences and uninterrupted views to dwellings and front garden areas.
3. To minimise the dominance of car parking structures, ensuring all vehicle storage is located in line or behind the dwelling facade.
4. To ensure new development positively responds to the preferred scale and styles of the precinct, characterised by contemporary dwellings which feature well-articulated facades and a consistent material palette.
5. To ensure that new buildings do not dominate the streetscape and feature consistent and adequate setbacks.

INCREMENTAL

4. To ensure the built form of medium scale development positively responds to the preferred scale and styles of the precinct, characterised by contemporary dwellings which feature well-articulated facades and a consistent material palette.
5. To ensure new medium scale development does not dominate the streetscape and provide consistent and adequate setbacks.

SUBSTANTIAL

4. To ensure new, higher density development on smaller lots positively responds to the preferred scale and styles of the precinct, characterised by contemporary dwellings which feature well-articulated facades and a consistent material palette.
5. To ensure that consistent and adequate setbacks are provided in areas identified for higher density development.

GARDEN COURT



Design Guidelines

Change Area	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should compliment the building materials of existing dwellings such as brick, weatherboard, and render. • Buildings should provide prominent eaves in all roof forms. • Orient buildings parallel to the street and incorporate façade articulation with the use of porches, recesses, windows, and doorways that provide rhythm without repetition. • Use non-reflective materials and finishes for walls, roofs and windows. • Buildings must provide a high-quality landscaping response to the street that contributes to the public realm through innovative design, landscaping and open frontages. • Ensure the main pedestrian entrance is legible in the streetscape while the vehicle entry is designed to be less prominent. • In the case of side-by-side development, provide each dwelling with a separate roofline and a discernible sense of address. • Encourage contemporary building design and innovative architecture that articulates facades and responses to sensitive interfaces. • Locate habitable rooms and dwelling entrances to face the street where possible.
Minimal	<ul style="list-style-type: none"> • New development should complement the low scale height of existing dwellings up to 2 storeys.
Incremental	<ul style="list-style-type: none"> • New development should complement the medium scale height of existing dwellings up to 3 storeys.
Substantial	<ul style="list-style-type: none"> • New development should not exceed 5 storeys.
Siting and setbacks	
All areas	<ul style="list-style-type: none"> • New development should maintain consistent setbacks that create a rhythm in the streetscape and provide for visual breaks and garden areas. • In areas adjacent to the coast, buildings should be sited to protect views both to and from the coast. • In the case of multi-dwellings on a lot, design the front dwelling to present as one dwelling to the street through the use of roof forms, materials and design detail. • If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of canopy trees and understorey vegetation.
Minimal	<ul style="list-style-type: none"> • Buildings should be set back at least 2m from one side boundary to retain spacing between buildings and enable landscaping.
Incremental and Substantial	<ul style="list-style-type: none"> • Buildings should be set back at least 1m from one side boundary to retain spacing between buildings and enable landscaping. • Setback upper levels above 2 storeys to achieve visual recession.

Gardens and landscaping

- | | |
|--------------------------------|---|
| All areas | <ul style="list-style-type: none"> Retain existing indigenous and native canopy trees and understorey vegetation and replant wherever possible. Where indigenous and larger native species cannot be retained on a site where present (ie. Inverloch), the site should provide adequate space for offset planting of indigenous and native trees that will grow to a mature height similar to the height of the tree that was removed. Provide landscaping along shared driveways and laneways to soften the appearance of buildings, fencing and hardstand areas. Prepare and implement a landscape plan to accompany all applications for new dwellings that utilises species identified in the <i>Bass Coast Preferred Species List</i>. Plant vegetation and trees in the public realm, including nature strips in accordance with the <i>Bass Coast Urban Forest Strategy</i>. |
| Minimal and incremental | <ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 250m². |
| Substantial | <ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 300m². |

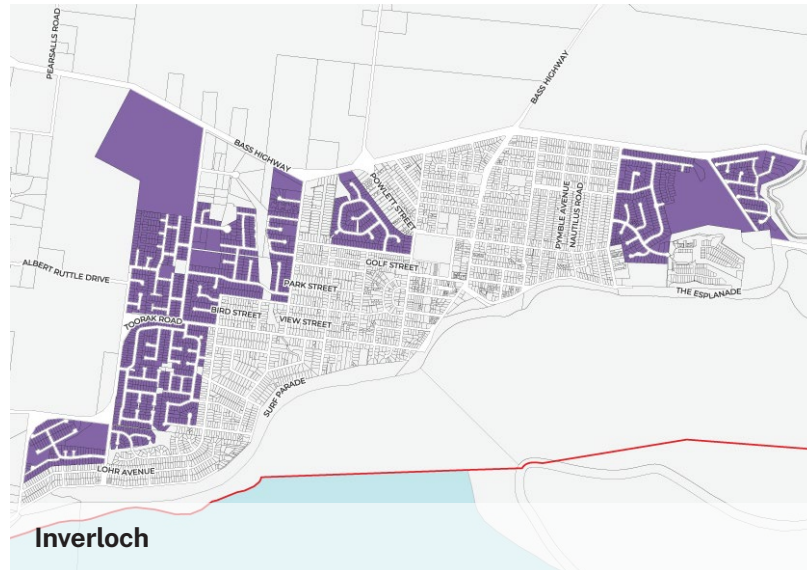
Garage storage and vehicle access

- | | |
|------------------|---|
| All areas | <ul style="list-style-type: none"> Locate garages and carports in line or behind the front façade of the dwelling, ensuring that they do not dominate streetscape. Provide only one vehicular crossover per typical site frontage. Limit the width of vehicle accessways and support unsealed crossovers that blend with the existing landscape. Provide landscaping and plantings to soften the appearance of driveways Minimise paving in front yards, including the driveway. Where a rear Right of Way exists, vehicle storage should be located at the rear of a dwelling. In the case of side-by-side development, space the vehicle crossovers to retain the existing rhythm of the street. |
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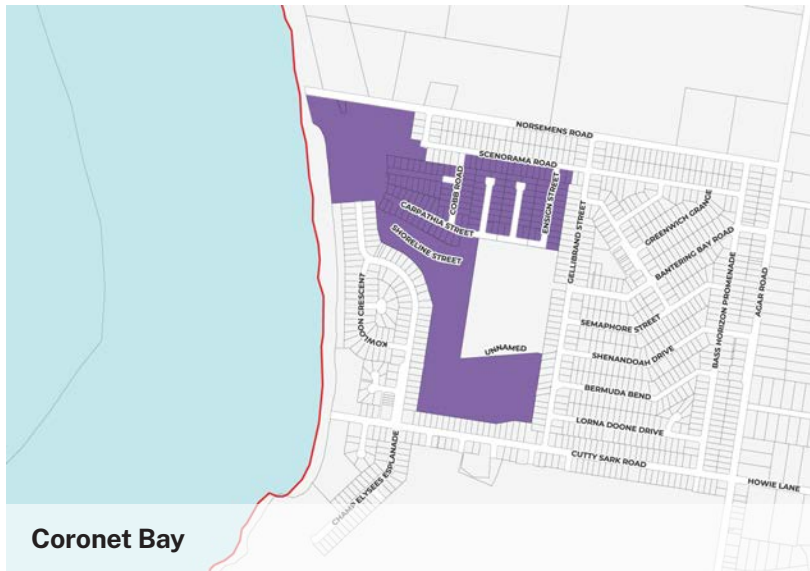
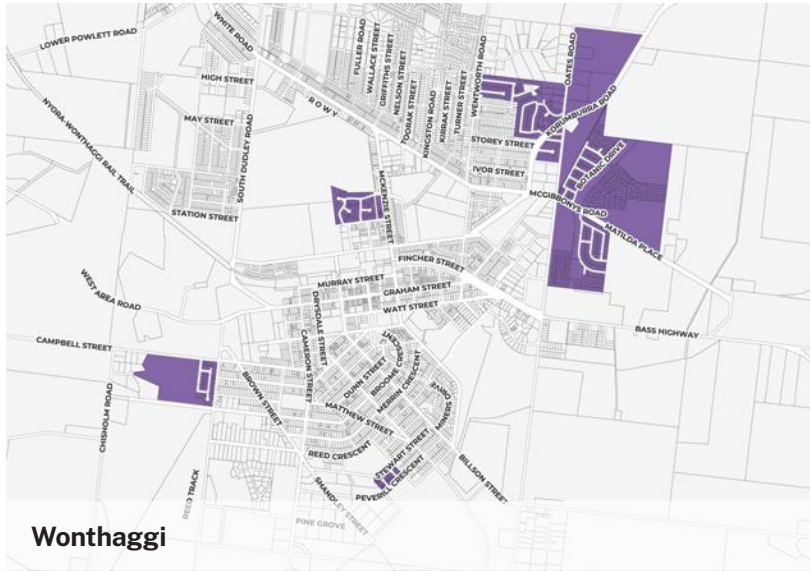
Front fencing

- | | |
|------------------|--|
| All areas | <ul style="list-style-type: none"> Fencing should be set back from the front site boundary to allow for landscaping in front of the fence. A front fence within 3 metres: <ul style="list-style-type: none"> should provide no or a low, visually permeable style up to 0.8m in height. may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability. |
|------------------|--|

GARDEN COURT



GARDEN COURT



GARDEN RESIDENTIAL



Character Description

The Garden Residential precinct is characterised by generally spacious residential areas with consistently sited dwellings in private garden settings. Dwellings have typically been developed in the Post-war era and are interspersed by Modern infill development. Buildings are generally constructed of brick and weatherboard and have gabled roofs constructed of tile and metal. The precinct is dominated by single storey detached dwellings, but occasional double storey development is present.

Regular front and side setbacks create a sense of openness in the streetscape. Front gardens comprise a mixture of native shrubbery and low level canopy which is clearly visible from the street where fencing is absent. Where fencing is provided, it appears semi-transparent or solid, and is constructed of timber or metal.

Streets have a formal subdivision pattern with modified grid layouts, have a wide cross section and are complimented by generously grassed nature strips which include occasional canopy. Roads are a mixture of sealed and unsealed, and footpaths are generally absent.

Character Attributes



Architectural Style, Form & Layout

- Mix of Bungalow, Post-war (1945-1970s) and Modern era styles, reflective of varying building styles and material finishes.
- Buildings are detached.
- Front façades are articulated with the use of porches, recesses, windows and doorways.



Materials & Colours

- Predominantly brick and weatherboard.



Building Scale & Height

- One storey detached single dwellings with occasional double storey development.



Roof Styles

- Predominantly gabled roofs constructed of tile and metal.



Garages & Carports

- Car parking is frequently constructed on the side boundary.
- Presence of informal, open carport styles.
- Vehicle storage is typically located in line or behind the front facade.



Orientation & Setback

- Dwellings are oriented parallel to address the street.
- Consistent front setbacks across all development, ranging from 4m to 8m.
- Side setbacks range from 2m to 3m.



Lot Size & Subdivision

- Mix of small-moderate lot sizes, generally between 500-800m².



Front Fencing

- Mixture of solid and semi-transparent timber and metal fencing measuring between 0.5m and 1.5m.



Gardens & Vegetation

- Medium level vegetation in the private realm.
- Gardens feature a mixture of native and exotic planting and canopy.



Landscape Character (Bass Coast Landscape Assessment Review - Volume 1: Feb 2022)

- Landscape Type 1: South Gippsland Coastal Plains
 - Westernport & Bass River Lowlands
 - Phillip Island North Coast & Hinterland
 - Bunurong Coast & Powlett River Lowlands
 - Inverloch & Anderson Inlet
- Landscape Type 3: Strzelecki Highlands
 - Bass Hills & Kilcunda Coast
 - The Gurdies Hills
- Landscape Type 4: Westernport Localised Flatlands
 - Coastal Mangroves & Mudflats



Views & Topography

- Flat to sloping topography.
- Views to the hinterland in certain areas.



Public Realm & Layout

- Streets are wide and follow a formal grid layout.
- Footpaths are generally absent.
- Roads feature a mixture of sealed and unsealed predominantly asphalt and occasional gravel road. Sealed roads include a kerb and channel.
- Vehicle crossovers are predominantly sealed but occasionally unsealed.
- Nature strips include medium levels of vegetation with native shrubs and tree canopy.

GARDEN RESIDENTIAL



LEGEND

- Bass Coast Municipal Boundary
- Garden Residential



Preferred Character Statements

ALL AREAS

New development will be consistently sited within formal garden settings which provide space for increased vegetation, including native and exotic shrubs and canopy tree coverage.

Dwellings will utilise a consistent material palette and will be articulated with recesses, porch areas and windows to complement the architectural detailing of older style dwellings.

Consistent and spacious front and side setbacks create a sense of openness to the streetscape. New development will be sited to protect occasional views to the hinterland and coast.

Vehicle storage will be located in line of or behind the dwelling facade, and will be visually unobtrusive and compatible with the development.

A mix of low scale and permeable front fencing will allow for views to dwellings and front garden areas, contributing to the garden character of the precinct.

Streetscapes will often be characterised by wide roads, footpaths occasionally on one side of the street and generous nature strips which feature native canopy trees, bushes and shrubs and a presence.

INCREMENTAL

Streets within Incremental Change areas will support medium scale developments, while still retaining the garden setting of the precinct by providing adequate space for increased native vegetation planting including canopy trees and shrubs.

SUBSTANTIAL

Streets within Substantial Change areas will experience increased change through housing diversity at greater densities and heights, while still responding to existing built form and maintaining appropriate setbacks that contribute to openness of the streetscape and garden character of the precinct.

Neighbourhood Character Objectives

ALL AREAS

1. To maintain consistent front and side setbacks that allow space for increased vegetation planting, including native and exotic shrubs, bushes and canopy trees within the private realm to strengthen the formal garden setting of dwellings and contribute to the enhancement of the public realm.
2. To maintain the openness of the streetscape, characterised by no or low, semitransparent front fences that allow views to dwellings and front garden areas.
3. To ensure new development does not dominate the streetscape and minimises but minimises the dominance of car parking access and structures instead.
4. To ensure new development positively responds to the preferred scale and styles of the precinct, characterised by dwellings which feature well-articulated facades and a consistent material palette.
5. To maintain and reinforce the predominant building alignment along the street, characterised by consistent setbacks that contribute to the sense of openness.

INCREMENTAL

4. To ensure the built form of medium scale development positively responds to the preferred scale and styles of the precinct, characterised by dwellings which feature well-articulated facades and a consistent material palette.
5. To ensure new medium scale development does not interrupt the predominant building alignment along the street, characterised by consistent setbacks that contribute to the sense of openness.

SUBSTANTIAL

4. To ensure new, higher density development on smaller lots positively responds to the preferred scale and styles of the precinct, characterised by contemporary dwellings which feature well-articulated facades and a consistent material palette.
5. To ensure that consistent setbacks and the predominant building alignment along the street is maintained in areas identified for higher density development.

**GARDEN
RESIDENTIAL**



Design Guidelines

Change Area

Design Response

Building height and form

All areas	<ul style="list-style-type: none"> • New development should compliment the varied building styles, materials such as brick and weatherboard, colour palette and siting of existing and older, original dwellings. • Buildings should provide prominent eaves in all roof forms. • Orient buildings parallel to the street and incorporate facade articulation with porches, recesses, windows and doorways. • Use non-reflective materials and finishes for walls, roofs and windows. • Buildings must provide a high-quality landscaping response to the street that contributes to the public realm through innovative design, landscaping and open frontages. • Ensure the main pedestrian entrance is legible in the streetscape while the vehicle entry is designed to be less prominent. • Encourage contemporary building design and innovative architecture that articulates facades and responses to sensitive interfaces. • Locate habitable rooms and dwelling entrances to face the street where possible. • In the case of side-by-side development, provide each dwelling with a separate roofline and a discernible sense of address.
Minimal	<ul style="list-style-type: none"> • New development should complement the low scale height of existing dwellings up to 2 storeys.
Incremental	<ul style="list-style-type: none"> • New development should complement the medium scale height of existing dwellings up to 3 storeys.
Substantial	<ul style="list-style-type: none"> • New development should not exceed 5 storeys.

Siting and setbacks

All areas	<ul style="list-style-type: none"> • New development should maintain consistent setbacks that provide for a sense of openness and visual breaks and garden areas. • Buildings should be sited to consider occasional intermittent views to the hinterland and protect views to and from the coast for adjacent residential areas. • In the case of multi-dwellings on a lot, design the front dwelling to present as one dwelling to the street through the use of roof forms, materials and design detail. • If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of canopy trees and understorey vegetation.
Minimal	<ul style="list-style-type: none"> • Buildings should be set back a minimum of 3m from one side boundary to retain spacing between buildings and enable landscaping.
Incremental and substantial	<ul style="list-style-type: none"> • Buildings should be set back a minimum of 2m from one side boundary to retain spacing between buildings and enable landscaping. • Setback upper levels above 2 storeys to achieve visual recession.

GARDEN RESIDENTIAL

Gardens and landscaping

All areas	<ul style="list-style-type: none">• Retain existing indigenous and native canopy trees and understorey vegetation and replant wherever possible. Where indigenous and larger native species cannot be retained on a site where present (ie. Phillip Island and Inverloch), the site should provide adequate space for offset planting of indigenous and native trees that will grow to a mature height similar to the height of the tree that was removed.• Provide landscaping along shared driveways and laneways to soften the appearance of buildings, fencing and hardstand areas.• Prepare and implement a landscape plan to accompany all applications for new dwellings that utilises species identified in the <i>Bass Coast Preferred Species List</i>.• Maintain the formal garden setting of the precinct by providing garden beds in front yards with space for new vegetation to establish, including along fence lines, driveways, front façades and other accessways.• Plant vegetation and trees in the public realm, including nature strips in accordance with the <i>Bass Coast Urban Forest Strategy</i>.
Minimal and incremental	<ul style="list-style-type: none">• Provide indigenous and native canopy trees occurring at a density of one to every 250m²
Substantial	<ul style="list-style-type: none">• Provide indigenous and native canopy trees occurring at a density of one to every 300m².

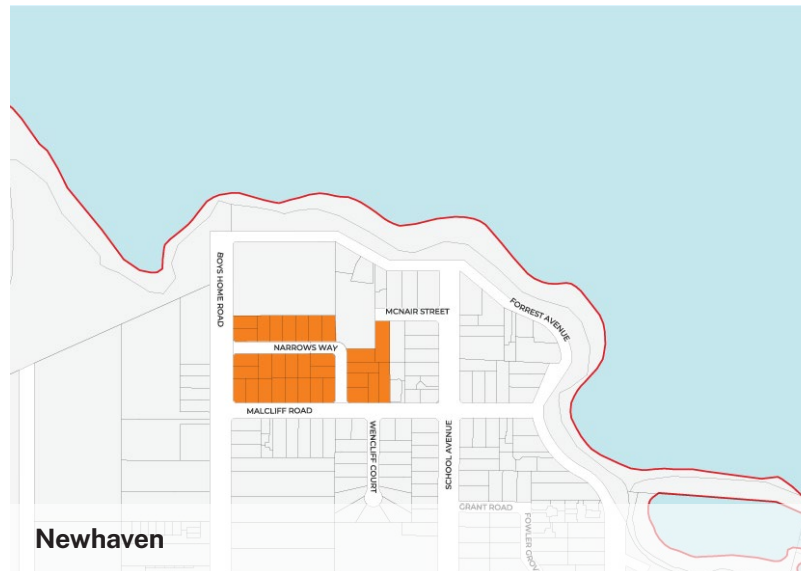
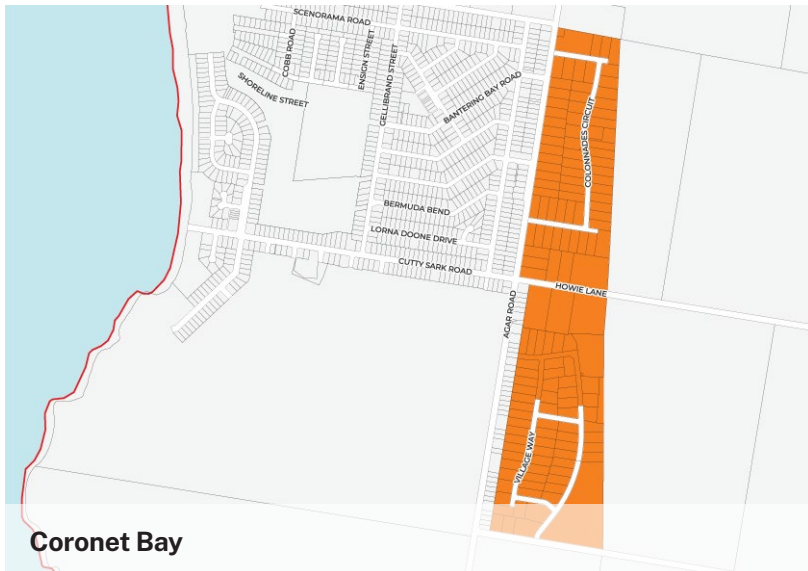
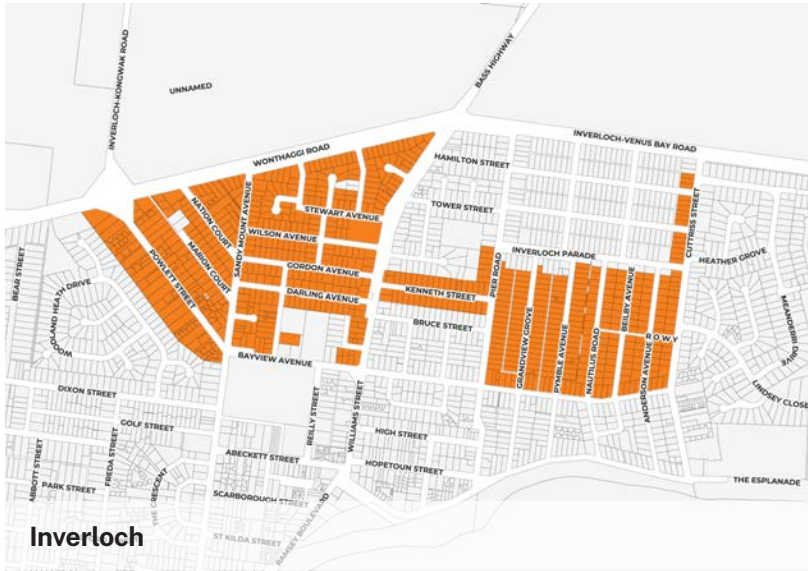
Garage storage and vehicle access

All areas	<ul style="list-style-type: none">• Locate garages and carports in line or behind the front façade of the dwelling, ensuring that they do not dominate streetscape.• Provide only one vehicular crossover per typical site frontage.• Limit the width of vehicle accessways and support unsealed crossovers that blend with the existing landscape.• Provide landscaping and plantings to soften the appearance of driveways• Minimise paving in front yards, including the driveway.• Where a rear Right of Way exists, vehicle storage should be located at the rear of a dwelling.• In the case of side-by-side development, space the vehicle crossovers to retain the existing rhythm of the street.
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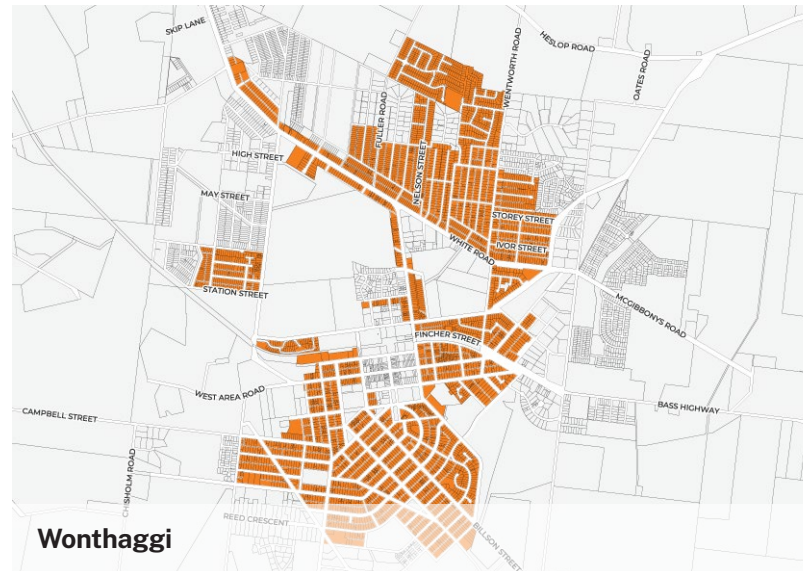
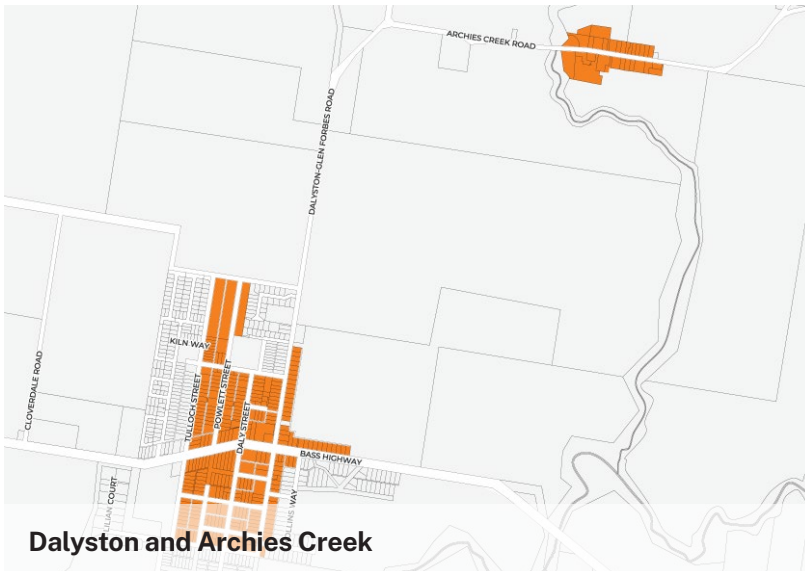
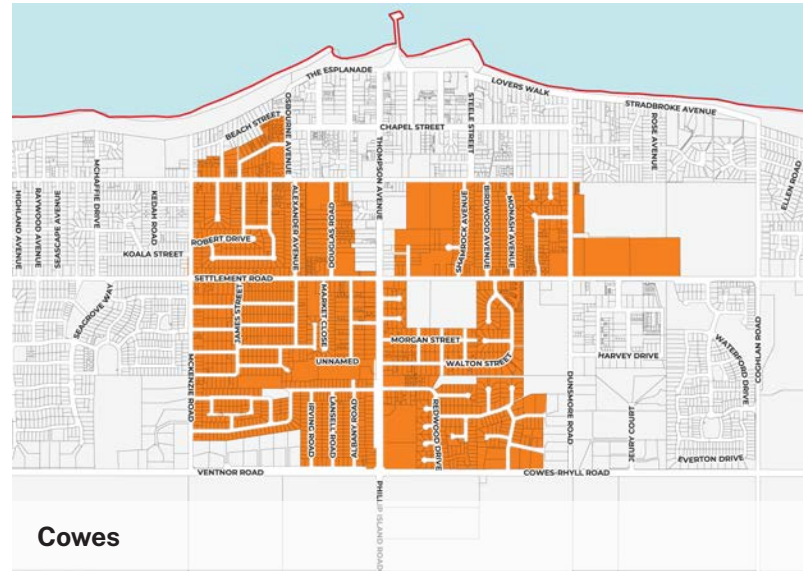
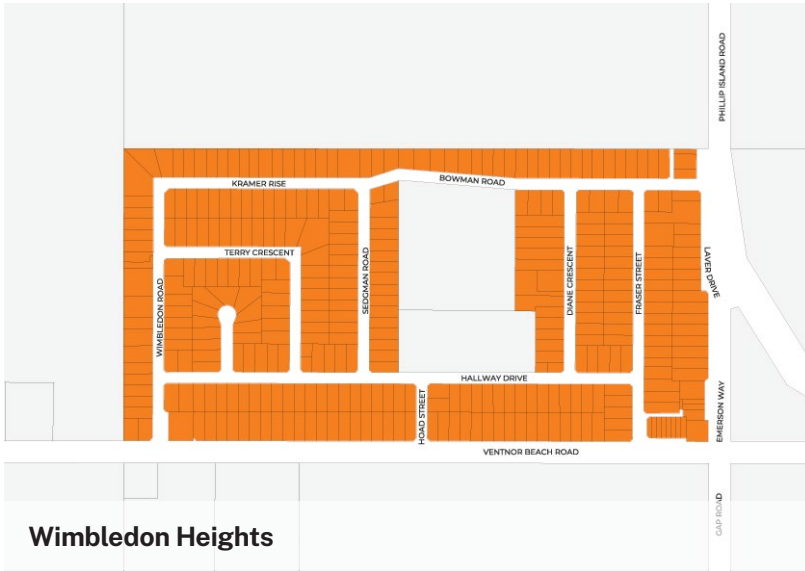
Front fencing

All areas	<ul style="list-style-type: none">• Fencing should be set back from the front site boundary to allow for landscaping in front of the fence.• A front fence within 3 metres:<ul style="list-style-type: none">- should provide no or a low, visually permeable style up to 1.5m in height, constructed of timber or metal.- may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability.
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GARDEN RESIDENTIAL



GARDEN RESIDENTIAL



RURAL RESIDENTIAL



Character Description

The Rural Residential precinct is characterised by informal, rural streetscapes and a mix of Contemporary dwellings interspersed with Inter-war and Post-war era style dwellings. Dwellings are generally single storey with large floor plates and constructed from brick, or concrete with a rendered finish. Vegetation cover varies across the precinct, with dwellings set within grassy, open lawns as well as densely vegetated lots comprising a mix of native and non-native species and remnant native trees.

The public realm is characterised by medium levels of informal vegetation and mature, native canopy cover. Open lawns stretching from the dwelling to the street verge is also common throughout the precinct. Significant front and side setbacks allow for the retention of remnant trees, as well as the planting of native and non-native species. Dwellings are occasionally obscured from view at street level due to the density of both private and public realm vegetation and canopy coverage.

Transparent, rural-style fences delineate the boundary between private and public realms. Streets in this precinct generally have an informal character, without footpaths, featuring predominantly unsealed roads and driveways, and a lack of formal drainage infrastructure generally.

Character Attributes



Architectural Style, Form & Layout

- Predominately Contemporary developments, interspersed with Inter-war and Post-war era style dwellings.
- Buildings are detached single dwellings.



Materials & Colours

- Predominately brick and other Contemporary materials (concrete, render, etc) in Contemporary developments.



Building Scale & Height

- Predominantly one storey.



Roof Styles

- Predominately hipped or gable fronted roof forms, constructed of either tile or metal.



Garages & Carports

- Car parking is frequently constructed on the side boundary.
- Vehicle storage is primarily equal with the front facade, occasionally forward of the dwelling.
- Predominantly unsealed, long driveways (mix of gravel and dirt).



Orientation & Setback

- Inconsistent siting and orientation of dwellings.
- Front setbacks are generous, in excess of 9m.
- Dwellings are separated by spacious side setbacks, in excess of 4m.



Lot Size & Subdivision

- Consistently larger lot sizes, ranging between 2,000 -10,000m².



Front Fencing

- Transparent, rural-style front fencing up to 1.5m in height, often constructed of post and wire and occasionally timber.



Gardens & Vegetation

- Medium levels of established vegetation, where planting is a mix of densely vegetated native and non-native species and is complimented by remnant native canopy in vast lawns.



Landscape Character (Bass Coast Landscape Assessment Review - Volume 1: Feb 2022)

- Landscape Type 1: South Gippsland Coastal Plains
 - Westernport & Bass River Lowlands
 - Phillip Island North Coast & Hinterland
 - Bunurong Coast & Powlett River Lowlands
 - Inverloch & Anderson Inlett
- Landscape Type 3: Strzelecki Highlands
 - Bass Hills & Kilcunda Coast



Views & Topography

- Flat topography.
- Views to surrounding rural properties and landscapes and tree canopy.





Public Realm & Layout

- Informal street planting characterised by medium levels of established, native trees ie. Cyprus trees in Bass.
- Streets mostly follow a modified grid layout, with some cul-de-sacs.
- Informal streetscapes typically with no footpaths and a lack of formal drainage infrastructure, usually in the form of trenches or swales.
- Road surfaces vary between sealed and unsealed surfaces (predominantly gravel or dirt roads).
- Vehicle crossovers are predominantly unsealed.

RURAL RESIDENTIAL



LEGEND

-  Bass Coast Municipal Boundary
-  Rural Residential



Preferred Character Statement

ALL AREAS

Streetscapes are dominated by medium levels of native vegetation and mature native canopy trees with supporting undergrowth within the private and public realm.

New development reflects the rural character of existing, low-scale dwellings with a contemporary architectural style that utilises natural materials and a neutral colour palette of softer tones sympathetic to the rural landscape character.

Dwellings will be sited on large lots that accommodate a mixture of native and non-native species, dense remnant shrubs and grassy open lawns. Vast front lawns and no or low rural style fencing front fencing reinforce the informal transition between the public and private realms and the rural feel of the precinct.

New development provides significant front and side setbacks to allow for the retention and continued planting of native and non-native species and canopy trees.

The streetscapes will feature an informal character which embraces roadside vegetation and a mixture of sealed and unsealed roads.

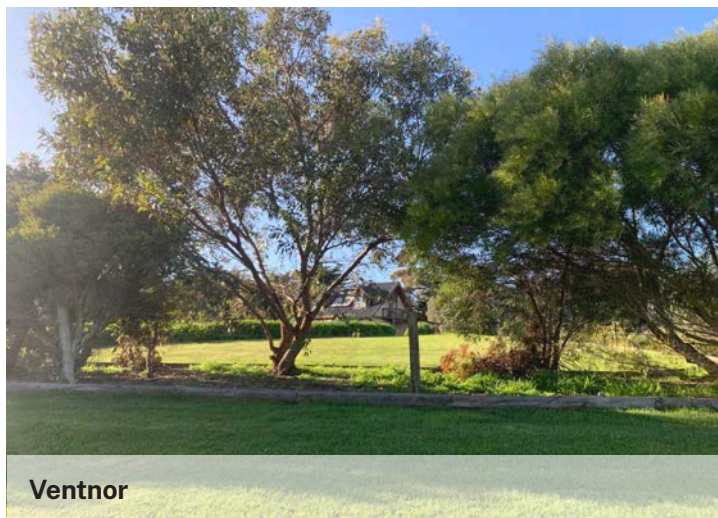
Vehicle storage will be located behind the line of the front dwelling facade and integrated with the design of the dwelling.

Neighbourhood Character Objectives

ALL AREAS

1. To ensure new development positively responds to the preferred scale and rural styles of the precinct, characterised by low-scale dwellings with a contemporary architectural style that utilises natural materials and a neutral colour palette of softer tones to enhance the rural landscape character.
2. To ensure new development does not dominate the wider rural landscape setting nor penetrates existing native tree canopy, and minimises site disturbance and the impact of buildings on the landscape.
3. To strengthen the rural and vegetation dominated landscape, characterised by large lots with generous setbacks that allow for the retention and continued planting of native vegetation and canopy trees.
4. To ensure new development does not dominate the streetscape and minimises the dominance of car parking access and structures instead.
5. To retain the spaciousness of the streetscape characterised by low, permeable rural style front fences that blends with gardens and existing vegetation within the public realm.

**RURAL
RESIDENTIAL**



Design Guidelines

Change Area	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should complement the low scale building height up to 2 storeys, building forms and large floor plates of existing dwellings. • Articulate the front facades of buildings through the use of verandahs, windows, doorways and porch entries. • New development should compliment existing contemporary building forms as well as older, original dwellings. • New development should use a neutral colour palette or earthen and bush tones, particularly greens, browns and greys. • Buildings should provide prominent eaves in all roof forms. • Buildings should not penetrate tree canopy, where a canopy is present. • Use non-reflective materials and finishes for walls, roofs and windows. • Buildings must provide a high-quality landscaping response to the street that contributes to the public realm through innovative design, landscaping and open frontages.
Siting and setbacks	
All areas	<ul style="list-style-type: none"> • New development should maintain spacious setbacks that provide for visual breaks and support an open landscape setting. • Maintain the irregular orientation and informal siting of dwellings. • Buildings should be set back at least 4m from both side boundaries to enable the planting and growth of indigenous and native trees and understory planting. • Ensure the siting of dwellings in residential areas in San Remo minimise impacts on the significant landscape character.
Gardens and landscaping	
All areas	<ul style="list-style-type: none"> • Retain established or mature trees and provide space for the planting of new canopy trees and substantial vegetation. Where indigenous and larger native species cannot be retained on a site where present in Phillip Island the site should provide adequate space for offset planting of indigenous and native trees that will grow to a mature height similar to the height of the tree that was removed. • Provide landscaping along driveways soften the appearance of hardstand areas. • Provide indigenous and native canopy trees occurring at a density of one to every 250m² across the site. • Prepare and implement a landscape plan to accompany all applications for new dwellings that utilises appropriate indigenous and native species as identified in the <i>Bass Coast Preferred Species List</i>. • Plant vegetation and trees in the public realm, including nature strips in accordance with the <i>Bass Coast Urban Forest Strategy</i>. • Buildings should not exceed 30% site coverage. • Provide at least 50% of site as permeable surface.

Garage storage and vehicle access

All areas

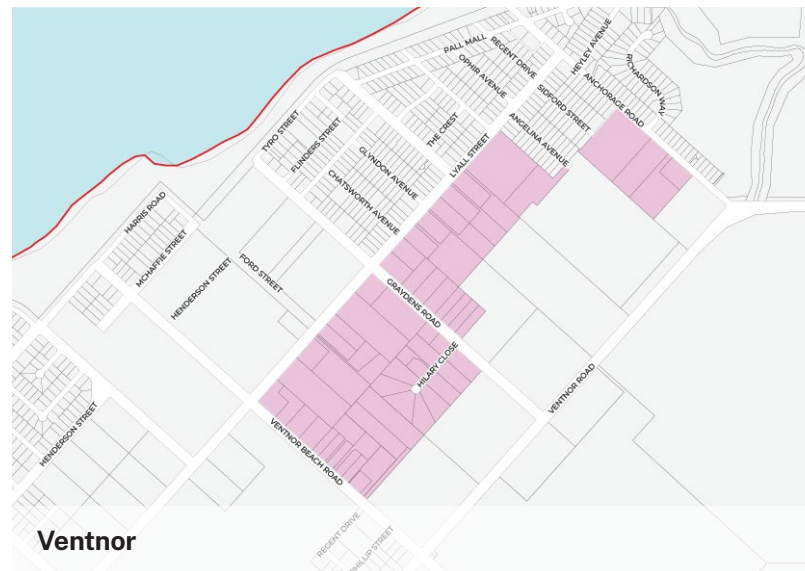
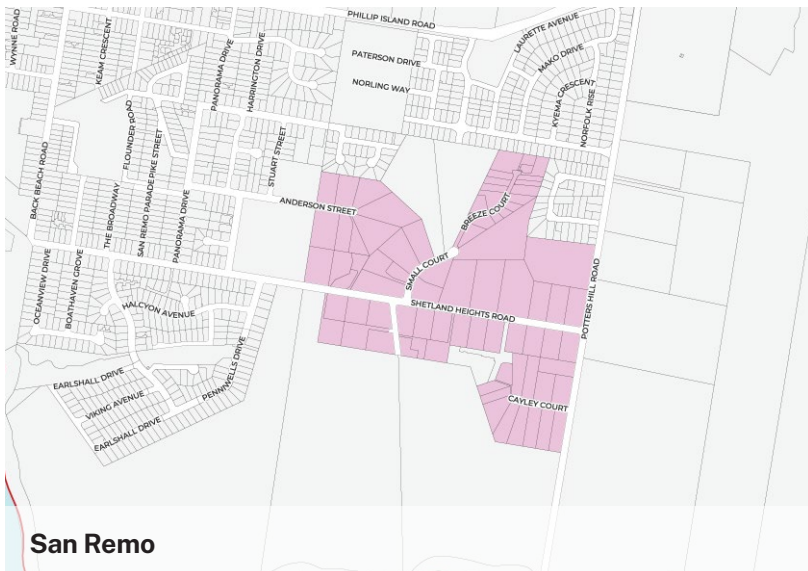
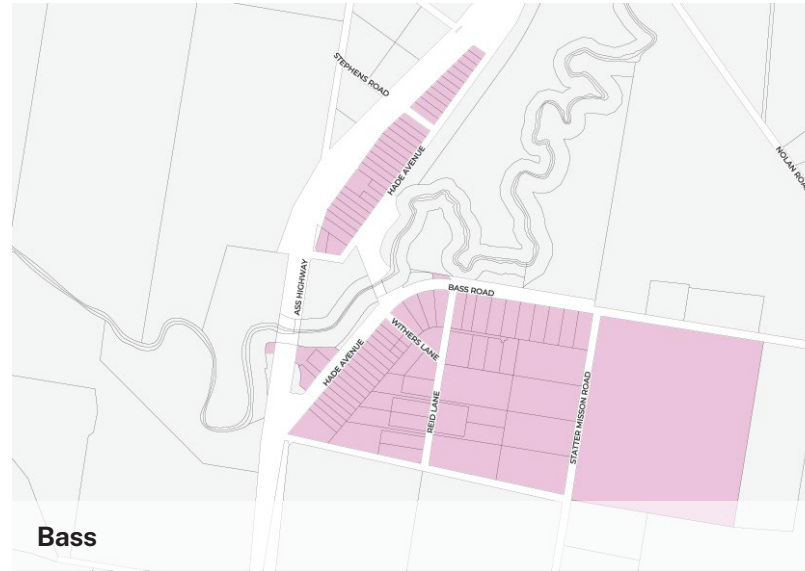
- Locate garages and carports in line or behind the front façade of the dwelling, ensuring that they do not dominate streetscape.
- Provide only one vehicular crossover per typical site frontage.
- Limit the width of vehicle accessways and support unsealed crossovers that blend with the existing landscape.
- Provide landscaping and plantings to soften the appearance of driveways
- Minimise paving in front yards, including the driveway.

Front fencing

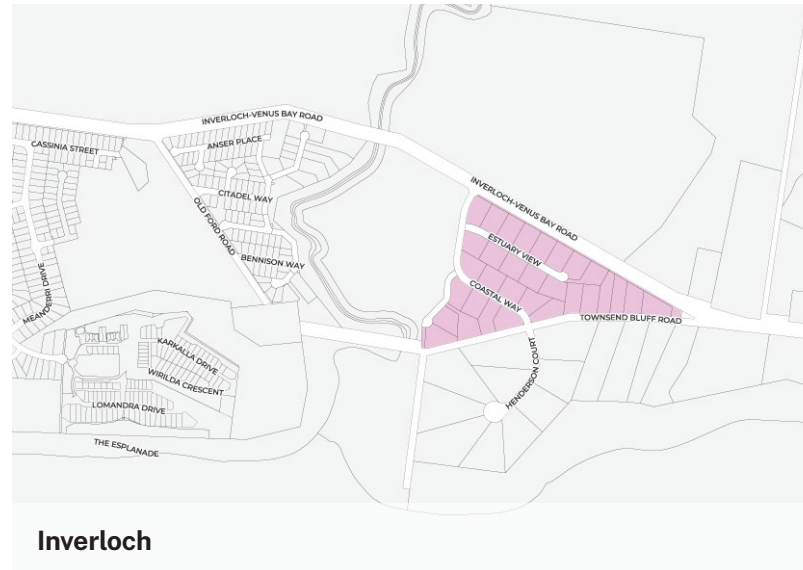
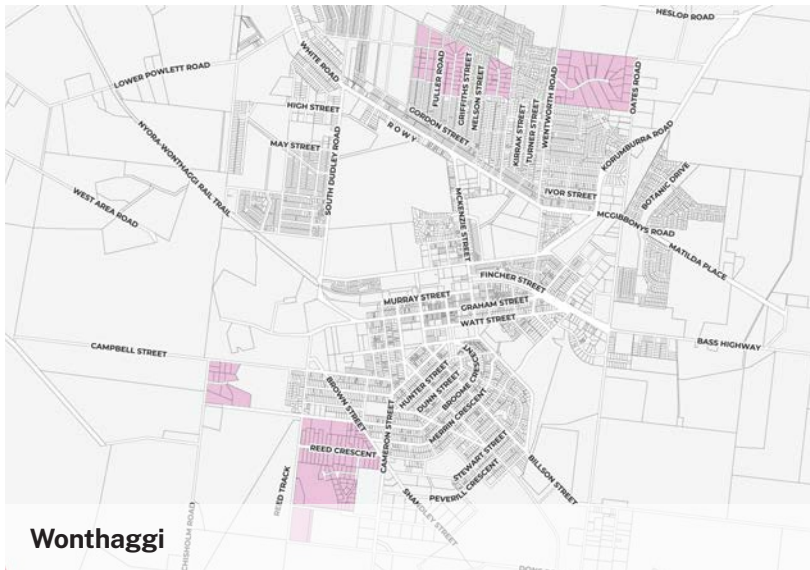
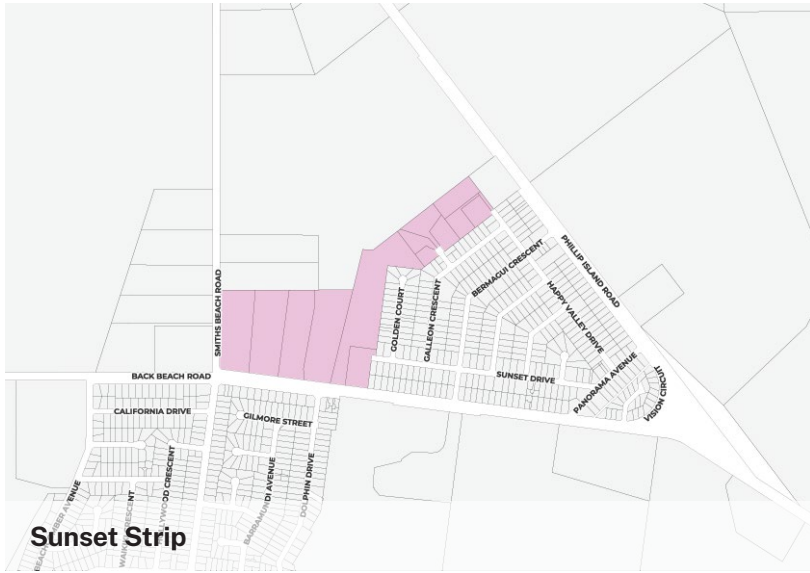
All areas

- Fencing should be set back from the front site boundary to allow for landscaping in front of the fence.
- A front fence within 3 metres of a street should provide no or a low, open style up to 1.5m in height, constructed of post and wire or timber.

RURAL RESIDENTIAL



RURAL RESIDENTIAL



RURAL RESIDENTIAL



7.12 Future Residential Areas

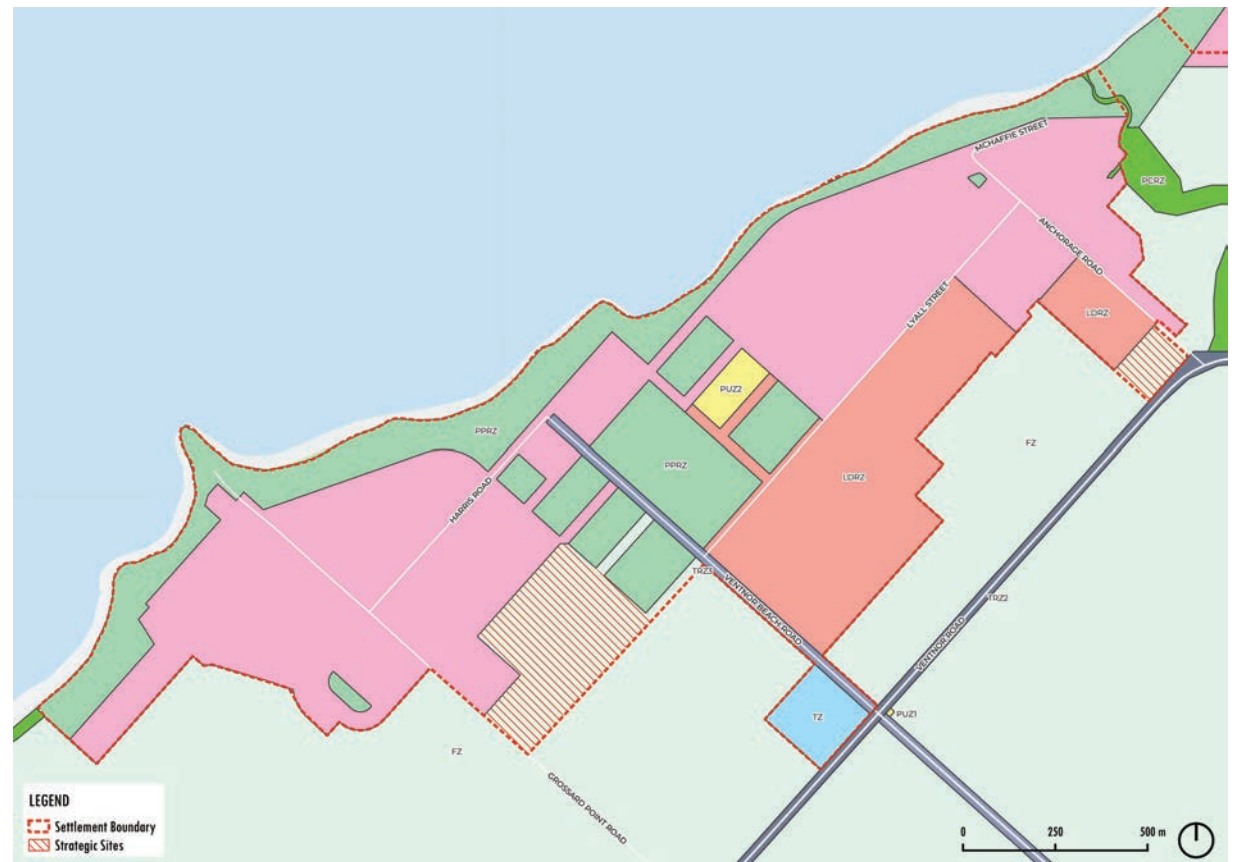
The following section provides vision statements for areas across Bass Coast Shire identified for future growth in accordance with the Bass Coast Housing Strategy. These statements seek to guide future residential development and ensure new built form appropriately responds and contributes to the valued characteristics of neighbouring residential areas.

Ventnor

Vision Statement

Sites to the east and west of the township will accommodate future residential development.

New development should respond to the low to medium scale of surrounding residential areas. Future residential development should respond to and enhance the coastal bush setting, providing generous setbacks and retaining existing coastal vegetation and tree canopy.



50 Ventnor - Future Residential Areas

FUTURE RESIDENTIAL

Bass

Vision Statement

Residential expansion will occur within the existing settlement boundary to the east of the township. New development should respond to the low scale in surrounding residential areas. The siting of future dwellings will respond to the wider rural setting, characterised by setbacks that allow for views between dwellings and across the landscape and the retention of remnant indigenous and native vegetation.



51 Bass-Future Residential Areas

FUTURE RESIDENTIAL

Corinella

Vision Statement

Residential expansion will occur in the south of the township.

New development should respond to the low scale and simple built form of surrounding residential areas. Future residential development should not dominate the streetscape and foreshore areas, providing an openness and enhancement of the coastal setting.



52 Corinella - Future Residential Areas

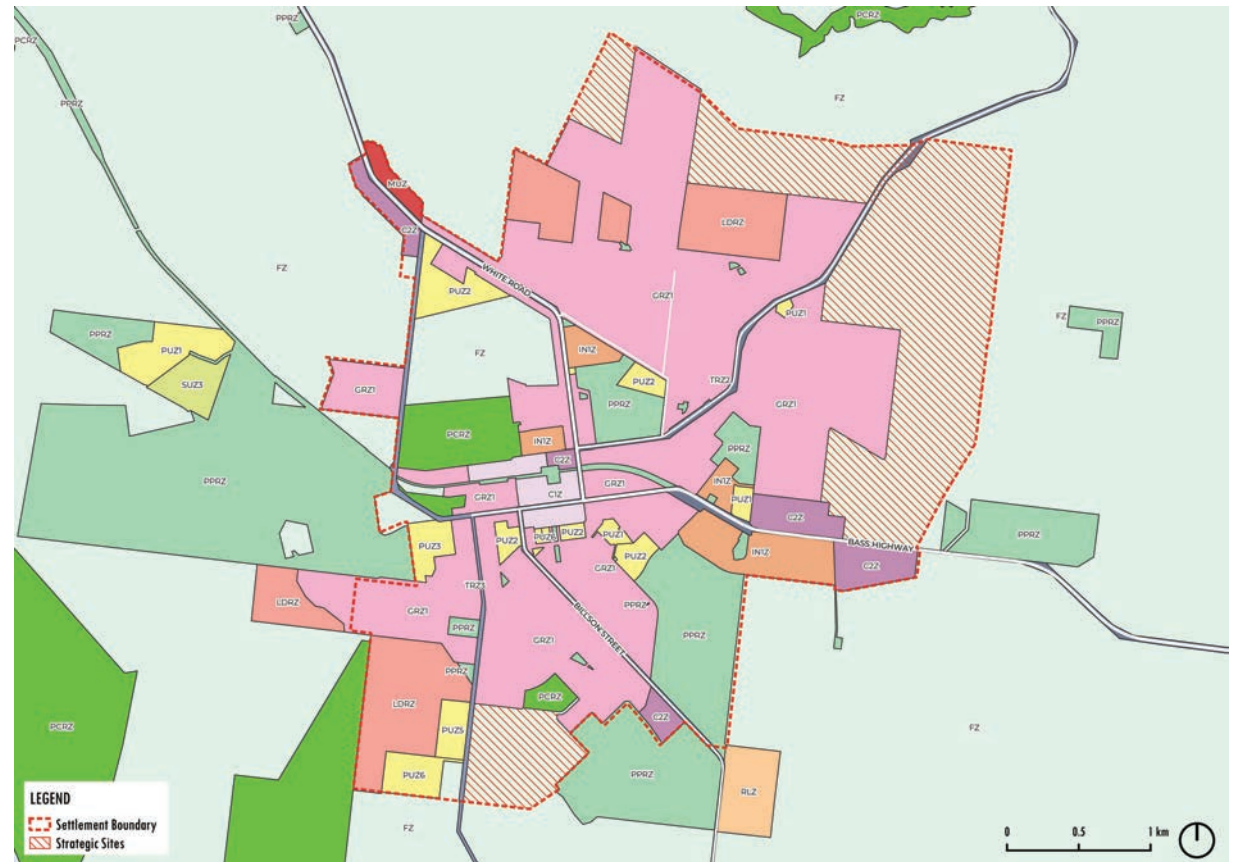
FUTURE RESIDENTIAL

Wonthaggi

Vision Statement

Residential expansion will continue to occur northeast of the township.

New development should respond to the low to medium scale built form in surrounding residential areas. In areas with stronger rural characteristics, generous street setbacks should be provided to promote the openness of the streetscape. Where topographical features allow, modern subdivision layouts with more closely sited dwellings can be accommodated.



53 Wonthaggi -Future Residential Areas

FUTURE RESIDENTIAL

Grantville

Vision Statement

Residential expansion will occur in the south of the township.

New development should respond to the low to medium scale built form of surrounding residential areas. Future residential development should blend with existing areas that are more highly vegetated by encouraging the retention of canopy trees and open garden frontages that create a sense of spaciousness in the streetscape.



54 Grantville - Future Residential Areas

8.0 Next Steps

8.1 Implementation Overview

The following chapter outlines the means by which the Bass Coast Shire Council can implement the recommendations of this Neighbourhood Character Study.

Implementing the recommendations of this updated Study can include a range of statutory and non-statutory mechanisms.

‘Statutory’ implementation, refers to the introduction of planning controls to the Bass Coast Shire Planning Scheme, that can be utilised to protect the character of the residential areas across the Shire, in accordance with the objectives and requirements of the identified Character Areas. This is in the form of Residential Zone and Overlay Schedules.

The implementation process also requires a ‘non-statutory’ yet equally important step of updating the Bass Coast Shire Planning Policy Framework (PPF) with the non measurable elements of the Character Areas Profiles including, Character Area Maps and character elements which cannot sit within a Zone or Overlay Schedule, which also assist in protecting and enhancing the character of these residential areas.

However, it should be noted that In accordance with Planning Practice Note 91: Using the Residential Zones, the application of zones should not be informed by Character alone, but derived from a municipal-wide strategic framework plan or residential development framework -Neighbourhood Character is one input into a larger strategic framework. The process for strategic planning and statutory implementation is shown in the figure overleaf.

The Neighbourhood Character areas identified in this Study have been informed by Council’s preparation of a Housing Strategy and the Residential Development Framework (separate pieces of work), that too will be implemented for residential areas in the Shire.

While preferred neighbourhood character will continue to be an important consideration in these areas, there is also a need to respond to State Government requirements for growth in residential supply and diversity. The Neighbourhood Character Study, Housing Strategy and Residential Development Framework will enable Bass Coast Shire to meet future housing growth and demographic trends, while still ensuring new development reflects preferred character across the Shire. Continued consultation with the DTP is also critical in the later stages of the project, given the complexity and evolving nature of this space.

Use of language throughout this Study

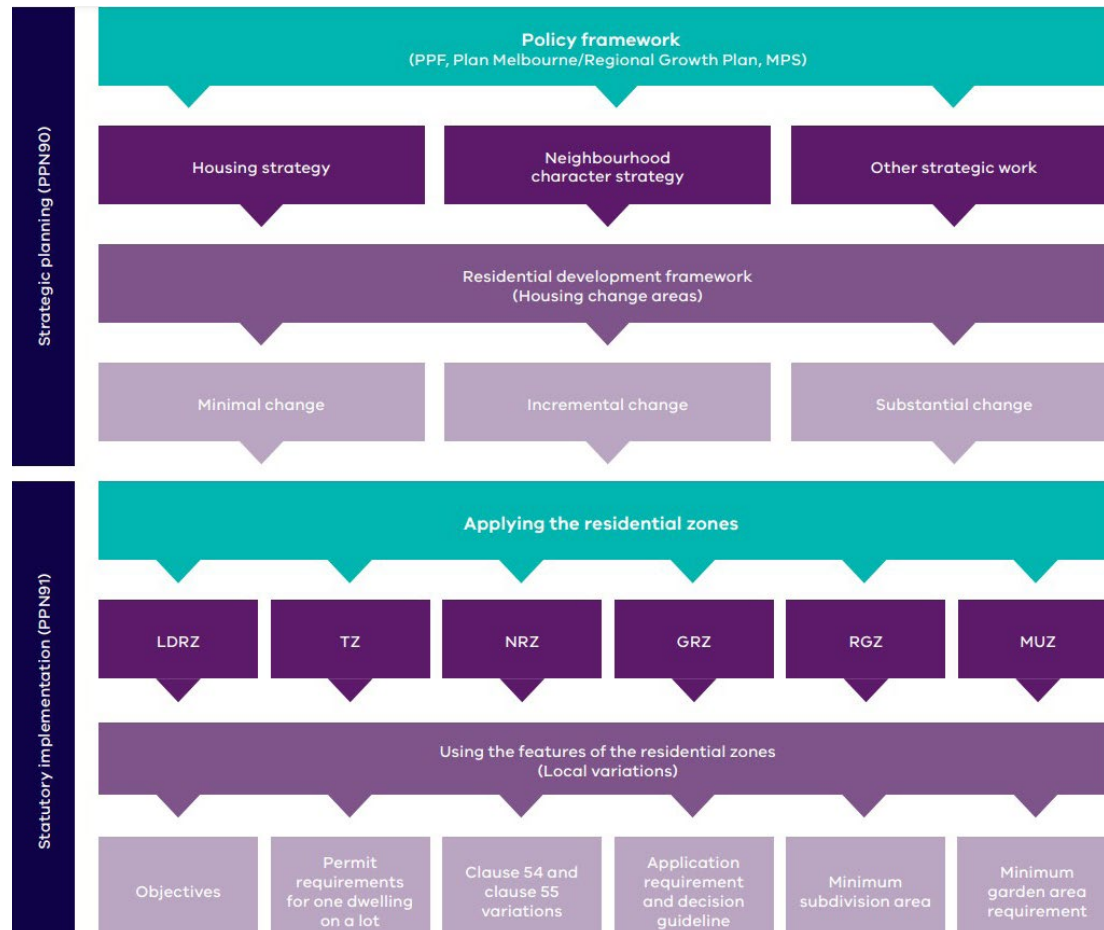
As outlined, this Neighbourhood Character Study is a strategic document that provides strategic evidence to support future planning scheme controls such as Zone and Overlay schedules.

Accordingly, language used throughout this Study is consistent with the requirements for preparing planning scheme ordinance. This is in accordance with Practitioners Guide -Appendix 1 (DTP , April 2022) as well as Planning Practice Note 43 -Understanding Neighbourhood Character.

NEXT STEPS

Statutory Implementation Process

The diagram below demonstrates the strategic planning and statutory process required to implement the recommendations of this Neighbourhood Character Study, as one input into a larger strategic framework.



55 Balancing housing growth and protection of neighbourhood character (PPN91, 2019)

8.2 Proposed Zone Schedules

Neighbourhood Character Objectives

The Bass Coast Shire Planning Policy Framework will be amended through updates to applicable residential zone schedules.

In alignment with PPN90 and PPN91, the five neighbourhood character objectives for each neighbourhood character area and housing change area, will be specified in a schedule to a residential zone to implement the preferred neighbourhood character in the Bass Coast Shire Planning Scheme. Unless stated, character objectives which apply to all areas also apply to incremental and substantial change areas.

Change Area	Character Objectives
Bush Coastal 1	
All areas	<ol style="list-style-type: none"> 1. To maintain and enhance view corridors in coastal locations by ensuring development is sited to retain public views to the water and makes reasonable effort to ensure view sharing between neighbouring properties. 2. To maintain and strengthen the spaciousness between dwellings that allows for the retention and continued planting of native coastal vegetation including low level native and indigenous trees and shrubs. 3. To maintain the bush coastal feel of the streetscape, characterised by limited delineation between the public and private realm, absent or semi-transparent front fencing and non-dominant car parking structures. 4. To ensure new development positively responds to the preferred scale and styles of the precinct, characterised by low scale dwellings with varied architectural styles and simple building forms utilising natural materials and a neutral colour palette sympathetic to the coastal and vegetated landscape setting. 5. To enhance the natural landscape character of the precinct, characterised by informal streetscapes with intermittent remnant coastal vegetation and shrubs in nature strips and flourishing surrounding indigenous woodlands and forest.
Incremental	<ol style="list-style-type: none"> 4. To ensure the built form of medium scale development positively responds to the preferred scale and styles of the precinct, characterised by varied architectural styles and simple building forms utilising natural materials and a neutral colour palette sympathetic to the coastal and vegetated landscape setting. 5. To ensure medium scale development does not interrupt the informal nature and openness of streetscapes and respects the natural landscape character of the precinct.

NEXT STEPS

Bush Coastal 2

All areas	<ol style="list-style-type: none">1. To maintain and strengthen the bush coastal setting of the precinct, characterised by medium to high levels of vegetation comprising dense coastal scrub, occasional large canopy trees and frequent lower-level trees that dominate the streetscapes in both the public and private realm.2. To maintain and enhance view corridors in coastal locations, to ensure reasonable view sharing between neighbouring properties by providing generous setbacks between dwellings.3. To maintain the informal character of the streetscape, ensuring new development features absent or semi-transparent front fencing and car-parking structures which are not visually prominent.4. To ensure new development positively responds to the preferred scale and styles of the precinct, utilising a range of natural materials and a neutral colour palette sympathetic to the coastal vegetated landscape setting.5. To enhance the bush coastal setting of the precinct, ensuring new development predominantly sits below existing tree canopy and is obscured by coastal vegetation.
Incremental	<ol style="list-style-type: none">4. To ensure the built form of medium scale development positively responds to the preferred scale and styles of the precinct, utilising a range of natural materials and a neutral colour palette sympathetic to the coastal and vegetated landscape setting.5. To ensure the built form of medium scale development is softened by vegetation to enhance the bush coastal setting of the precinct.
Substantial	<ol style="list-style-type: none">4. To ensure new, higher density development on smaller lots positively responds to the preferred scale and styles of the precinct, utilising a range of natural materials and a neutral colour palette sympathetic to the coastal and vegetated landscape setting.5. To maintain appropriate setbacks and spacing between dwellings in areas identified for higher density development to accommodate remnant coastal vegetation and to ensure the overall bush coastal setting is retained.

Bush Residential 1

All areas	<ol style="list-style-type: none">1. To maintain and strengthen the spaciousness and bush setting surrounding dwellings, minimising disruptions to dense native vegetation and mature tree canopy cover with lush undergrowth that screen developments from view.2. To ensure new development follows the typography of the land and sits below existing tree canopy, minimising the dominance of car parking structures and maintaining intermittent views to surrounding rural landscapes, vegetation and tree canopies.3. To retain the largely informal and bushy setting of the streetscape, characterised by dwellings which feature low or semi-transparent front fences that enhance the informal transition between public and private realms.4. To ensure new development positively responds to the preferred scale and styles of the precinct, characterised by predominantly low scale dwellings which utilise natural building materials and a muted colour palette of earthen and bush tones to complement the vegetated landscape setting.5. To ensure the siting and orientation of dwellings maximises the retention of existing dense native vegetation including mature remnant canopy trees, shrubs and grasses.
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NEXT STEPS

Incremental

4. To ensure the built form of medium scale development positively responds to the preferred scale and styles of the precinct, utilising a range of natural building materials and a muted colour palette of earthen and bush tones to complement the vegetated landscape setting.
5. To ensure the siting and orientation of new medium scale development enables the retention and planting of remnant native canopy trees, shrubs and grasses and contributes to the overall bush character of the precinct.

Bush Residential 2

All areas

1. To ensure new development minimises disruption to dense native vegetation and mature tree canopy cover that often screens dwellings from view.
2. To retain and reinforce the bush setting of the precinct, characterised by dwellings which feature no or low, semi transparent front fences and flourishing private gardens which blend with the public realm.
3. To provide setbacks that allow for the retention and continued planting of native vegetation, while also ensuring that car parking structures do not dominate the streetscape.
4. To ensure new development positively responds to the preferred scale and styles of the precinct, characterised by predominantly low scale dwellings which utilise natural building materials and muted colour palette of earthen and bush tones to complement the vegetated landscape setting.
5. To ensure the siting and orientation of dwellings maximises the retention and continued planting of native vegetation including mature native canopy trees and lush undergrowth.

Incremental

4. To ensure the built form of medium scale development positively responds to the preferred scale and styles of the precinct, utilising natural building materials and a muted colour palette of earthen and bush tones to complement the vegetated landscape setting.
5. To ensure the siting and orientation of new medium scale development enables the retention and planting of native canopy trees and lush undergrowth and contributes to the overall bush character of the precinct.

Substantial

4. To ensure new, higher density development on smaller lots positively responds to the preferred scale and styles of the precinct, utilising natural materials and a muted colour palette of earthen and bush tones to complement the vegetated landscape setting.
 5. To maintain appropriate setbacks and spacing between dwellings in areas identified for higher density development to accommodate native canopy trees and lush undergrowth and to ensure the overall bush coastal setting is retained.
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Coastal Contemporary

<p>All areas</p>	<ol style="list-style-type: none"> 1. To retain the openness of the streetscape, characterised by absent, or low front fences with views to front garden areas and limited delineation between native vegetation, grassed lawns and formal planting in the public and private realms. 2. To ensure new development responds to the undulating topography of the land and is sited to maximise coastal views and makes reasonable effort to ensure view sharing between neighbouring properties. 3. To ensure new development does not dominate the streetscape and minimises the dominance of car parking access and structures instead. 4. To ensure new development positively responds to the preferred scale and contemporary styles of the precinct, utilising contemporary facade articulation, a consistent palette of natural building materials and neutral tones sympathetic to the surrounding coastal landscape character. 5. To maintain and improve the coastal character of the area through encouraging the retention and continued planting of native vegetation and tree canopy within the private realm.
<p>Incremental</p>	<ol style="list-style-type: none"> 4. To ensure new development positively responds to the preferred building materials, scale and styles of the precinct, characterised by detached, medium scale dwellings with a contemporary architectural style that utilise natural materials and a neutral colour palette sympathetic to the coastal landscape setting. 5. To maintain appropriate spacing between dwellings in areas identified for medium scale development to promote the retention and planting of vegetation and maximise coastal views.
<p>Substantial</p>	<ol style="list-style-type: none"> 4. To ensure new development positively responds to the preferred building materials, scale and styles of the precinct, characterised by contemporary townhouse and unit developments that utilise natural materials and a neutral colour palette sympathetic to the coastal landscape setting. 5. To maintain consistent lot sizes and setbacks to ensure increased housing densities close to activity centres and consideration of the retention of native coastal vegetation and view sharing.

Coastal Residential

<p>All areas</p>	<ol style="list-style-type: none"> 1. To reinforce and strengthen the open, coastal feel of the precinct, characterised by limited delineation between the public and private realm and absent or semi-transparent front fencing. 2. To ensure new development is sited to retain intermittent views to the coast and makes reasonable effort to ensure view sharing between neighbouring properties. 3. To ensure new development does not dominate the streetscape and minimises the dominance of car parking access and structures instead. 4. To ensure new development positively responds to the preferred scale and styles of the precinct, characterised by moderate scale dwellings utilising contemporary facade articulation, neutral colour palette and natural materials sympathetic to the coastal landscape setting. 5. To strengthen the coastal character of the area through the retention and continued planting of native coastal vegetation including established native canopy trees and level shrubs.
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NEXT STEPS

Incremental	<p>4. To ensure the built form of medium scale development positively responds to the preferred scale and styles of the precinct, utilising contemporary facade articulation, neutral colour palette and natural materials sympathetic to the coastal landscape setting.</p> <p>5. To ensure new medium scale development provides for the retention and continued planting native coastal vegetation to strengthen the coastal character of the precinct.</p>
Substantial	<p>4. To ensure new, higher density development on smaller lots positively responds to the preferred scale and styles of the precinct, utilising contemporary facade articulation, neutral colour palette and natural materials sympathetic to the coastal landscape setting.</p> <p>5. To ensure appropriate setbacks are maintained in areas identified for higher density development to enable the retention and continued planting of native coastal vegetation to strengthen the coastal character of the precinct.</p>
Garden Court	
All areas	<p>1. To maintain and strengthen the garden settings of dwellings to provide for increased planting of native species and to allow vegetation to reach maturity.</p> <p>2. To retain the openness and rhythm of the streetscape, reinforced by absent or low and permeable front fences and uninterrupted views to dwellings and front garden areas.</p> <p>3. To minimise the dominance of car parking structures, ensuring all vehicle storage is located in line or behind the dwelling facade.</p> <p>4. To ensure new development positively responds to the preferred scale and styles of the precinct, characterised by contemporary dwellings which feature well-articulated facades and a consistent material palette.</p> <p>5. To ensure that new buildings do not dominate the streetscape and feature consistent and adequate setbacks.</p>
Incremental	<p>4. To ensure the built form of medium scale development positively responds to the preferred scale and styles of the precinct, characterised by contemporary dwellings which feature well-articulated facades and a consistent material palette.</p> <p>5. To ensure new medium scale development does not dominate the streetscape and provide consistent and adequate setbacks.</p>
Substantial	<p>4. To ensure new, higher density development on smaller lots positively responds to the preferred scale and styles of the precinct, characterised by contemporary dwellings which feature well-articulated facades and a consistent material palette.</p> <p>5. To ensure that consistent and adequate setbacks are provided in areas identified for higher density development.</p>

NEXT STEPS

Garden Residential

All areas	<ol style="list-style-type: none">1. To maintain consistent front and side setbacks that allow space for increased vegetation planting, including native and exotic shrubs, bushes and canopy trees within the private realm to strengthen the formal garden setting of dwellings and contribute to the enhancement of the public realm.2. To maintain the openness of the streetscape, characterised by no or low, semitransparent front fences that allow views to dwellings and front garden areas.3. To ensure new development does not dominate the streetscape and minimises but minimises the dominance of car parking access and structures instead.4. To ensure new development positively responds to the preferred scale and styles of the precinct, characterised by dwellings which feature well-articulated facades and a consistent material palette.5. To maintain and reinforce the predominant building alignment along the street, characterised by consistent setbacks that contribute to the sense of openness.
Incremental	<ol style="list-style-type: none">4. To ensure the built form of medium scale development positively responds to the preferred scale and styles of the precinct, characterised by dwellings which feature well-articulated facades and a consistent material palette.5. To ensure new medium scale development does not interrupt the predominant building alignment along the street, characterised by consistent setbacks that contribute to the sense of openness.
Substantial	<ol style="list-style-type: none">4. To ensure new, higher density development on smaller lots positively responds to the preferred scale and styles of the precinct, characterised by contemporary dwellings which feature well-articulated facades and a consistent material palette.5. To ensure that consistent setbacks and the predominant building alignment along the street is maintained in areas identified for higher density development.

Rural Residential

All areas	<ol style="list-style-type: none">1. To ensure new development positively responds to the preferred scale and rural styles of the precinct, characterised by low-scale dwellings with a contemporary architectural style that utilises natural materials and a neutral colour palette of softer tones to enhance the rural landscape character.2. To ensure new development does not dominate the wider rural landscape setting nor penetrates existing native tree canopy, and minimises site disturbance and the impact of buildings on the landscape.3. To strengthen the rural and vegetation dominated landscape, characterised by large lots with generous setbacks that allow for the retention and continued planting of native vegetation and canopy trees.4. To ensure new development does not dominate the streetscape and minimises the dominance of car parking access and structures instead.5. To retain the spaciousness of the streetscape characterised by low, permeable rural style front fences that blends with gardens and existing vegetation within the public realm.
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Design Guidelines

Schedules that can be added to the Residential Zones provide the mechanism to implement many of the Design Guidelines developed to achieve the Preferred Character for each neighbourhood character precinct and housing change area. The schedules can contain different design standards than those that would otherwise apply through the ResCode standards at Clauses 54 and 55 of the planning scheme. For Zone Schedules that don't permit ResCode variations (ie. LDRZ), the design guidelines could be implemented via DDO schedules.

The following table outlines the various proposed design requirements from each Neighbourhood Character Type that can be varied into a Schedule to a Residential Zone. As the new zone schedule provisions will need to consider any existing DDO or SLO provision that might also apply to the area, the table also lists an existing DDO or SLO that applies, in part or whole, to a Neighbourhood Character Area.

Bush Coastal 1							
Change Area	Side Setback	Site Coverage	Permeability	Landscaping	Front Fence Height	Existing DDOs	Existing SLOs
Minimal	<ul style="list-style-type: none"> Buildings should be setback a minimum of 1m from one side boundary and 2m from the other side boundary to enable the planting and growth of indigenous and native trees and understorey planting. 	50%	30%	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 150m² across the site. 	<ul style="list-style-type: none"> A front fence within 3 metres of a street should provide no or a low, open style up to 1.5m in height, constructed of timber. 	<ul style="list-style-type: none"> DDO1 	
Incremental	<ul style="list-style-type: none"> Buildings should be setback a minimum of 1m from one side boundary and 2m from the other side boundary to enable the planting and growth of indigenous and native trees and understorey planting. 	50%	30%	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 200m² across the site. 	<ul style="list-style-type: none"> A front fence within 3 metres of a street should provide no or a low, open style up to 1.5m in height, constructed of timber. 		

NEXT STEPS

Bush Coastal 2

Change Area	Side Setback	Site Coverage	Permeability	Landscaping	Front Fence Height	Existing DDOs	Existing SLOs
Minimal	<ul style="list-style-type: none"> Buildings should be set back at least 3m from one side boundary and 1m from the other to enable the planting and growth of indigenous and native trees and understorey planting. 	50%	40%	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 100m² across the site. 	<ul style="list-style-type: none"> A front fence within 3 metres of a street should provide no or a low, open style up to 1.5m in height, constructed of timber or post and wire. 	<ul style="list-style-type: none"> DDO1 DDO9 	
Incremental	<ul style="list-style-type: none"> Buildings should be setback a minimum of 1m from one side boundary and 2m from the other side boundary to enable the planting and growth of indigenous and native trees and understorey planting. 	50%	40%	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 150m² across the site. 	<ul style="list-style-type: none"> A front fence within 3 metres of a street should provide no or a low, open style up to 1.5m in height, constructed of timber or post and wire. 	<ul style="list-style-type: none"> DDO1 DDO9 	
Substantial	<ul style="list-style-type: none"> Buildings should be setback a minimum of 1m from one side boundary and 2m from the other side boundary to enable the planting and growth of indigenous and native trees and understorey planting. 	50%	40%	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 150m² across the site. 	<ul style="list-style-type: none"> A front fence within 3 metres of a street should provide no or a low, open style up to 1.5m in height, constructed of timber or post and wire. 	<ul style="list-style-type: none"> DDO1 DDO9 	

NEXT STEPS

Bush Residential 1

Change Area	Side Setback	Site Coverage	Permeability	Landscaping	Front Fence Height	Existing DDOs	Existing SLOs
Minimal	<ul style="list-style-type: none"> Buildings should be set back a minimum of 4m from one side boundary to enable the planting of indigenous and native trees and understorey planting. 	40%	40%	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 50m² across the site. 	<ul style="list-style-type: none"> A front fence within 3 metres of a street should provide no or a low, open style up to 1m in height, constructed of timber or post and wire. 	<ul style="list-style-type: none"> DDO1 DDO6 	
Incremental	<ul style="list-style-type: none"> Buildings should be set back at least 3m from one side boundary and 1m from the other to enable the planting and growth of indigenous and native trees and understorey planting. 	40%	40%	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 100m² across the site. 	<ul style="list-style-type: none"> A front fence within 3 metres of a street should provide no or a low, open style up to 1m in height, constructed of timber or post and wire. 		

NEXT STEPS

Bush Residential 2

Change Area	Side Setback	Site Coverage	Permeability	Landscaping	Front Fence Height	Existing DDOs	Existing SLOs
Minimal	<ul style="list-style-type: none"> Buildings should be set back at least 3m from one side boundary to enable the planting of indigenous and native trees and understorey planting. 	40%	40%	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 100m² across the site. 	<ul style="list-style-type: none"> A front fence within 3 metres of a street should provide no or a low, open style up to 1m in height, constructed of timber or post and wire. 	<ul style="list-style-type: none"> DDO1 DDO6 DDO9 	
Incremental	<ul style="list-style-type: none"> Buildings should be set back at least 1m from one side boundary and 2m from the other side boundary to enable the planting of indigenous and native trees and understorey planting. 	40%	40%	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 150m² across the site. 	<ul style="list-style-type: none"> A front fence within 3 metres of a street should provide no or a low, open style up to 1m in height, constructed of timber or post and wire. 	<ul style="list-style-type: none"> DDO1 DDO6 DDO9 	
Substantial	<ul style="list-style-type: none"> Buildings should be set back at least 1m from one side boundary and 2m from the other side boundary to enable the planting of indigenous and native trees and understorey planting. 	40%	40%	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 150m² across the site. 	<ul style="list-style-type: none"> A front fence within 3 metres of a street should provide no or a low, open style up to 1m in height, constructed of timber or post and wire. 		

NEXT STEPS

Coastal Contemporary

Change Area	Side Setback	Site Coverage	Permeability	Landscaping	Front Fence Height	Existing DDOs	Existing SLOs
Minimal	<ul style="list-style-type: none"> Buildings should be set back at least 2m from both side boundaries to retain spacing between buildings and enable landscaping. 	None specified	None specified	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 250m² across the site. 	<ul style="list-style-type: none"> A front fence within 3 metres: <ul style="list-style-type: none"> should provide no or a low, visually permeable style up to 0.8m in height. 	<ul style="list-style-type: none"> DDO1 	<ul style="list-style-type: none"> SLO1
Incremental	<ul style="list-style-type: none"> Buildings should be set back at least 1m from one side boundary and 2m from the other side boundary to retain spacing between buildings and enable landscaping, 	None specified	None specified	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 300m² across the site. 	<ul style="list-style-type: none"> may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability. 	<ul style="list-style-type: none"> DDO1 	
Substantial	<ul style="list-style-type: none"> Buildings should be set back at least 1m from one side boundary and 2m from the other side boundary to retain spacing between buildings and enable landscaping, 	None specified	None specified	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 300m² across the site. 		<ul style="list-style-type: none"> DDO1 	

NEXT STEPS

Coastal Residential

Change Area	Side Setback	Site Coverage	Permeability	Landscaping	Front Fence Height	Existing DDOs	Existing SLOs
Minimal	<ul style="list-style-type: none"> Buildings should be set back at least 2m from both side boundaries to retain spacing between buildings and enable landscaping. 	None specified	None specified	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 150m² across the site. 	<ul style="list-style-type: none"> A front fence within 3 metres: <ul style="list-style-type: none"> should provide no or a low, visually permeable style up to 1.5m in height, constructed of timber or metal. 	<ul style="list-style-type: none"> DDO1 DDO6 DDO9 	<ul style="list-style-type: none"> SLO1
Incremental	<ul style="list-style-type: none"> Buildings should be set back at least 1m from one side boundary and 2m from the other side boundary to retain spacing between buildings and enable landscaping. 	None specified	None specified	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 200m² across the site. 	<ul style="list-style-type: none"> may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability. 	<ul style="list-style-type: none"> DDO1 DDO2 DDO4 DDO11 	
Substantial	<ul style="list-style-type: none"> Buildings should be set back at least 1m from one side boundary and 2m from the other side boundary to retain spacing between buildings and enable landscaping. 	None specified	None specified	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 200m² across the site. 		<ul style="list-style-type: none"> DDO1 DDO4 DDO10 DDO11 DDO12 DDO13 	

NEXT STEPS

Garden Court							
Change Area	Side Setback	Site Coverage	Permeability	Landscaping	Front Fence Height	Existing DDOs	Existing SLOs
Minimal	<ul style="list-style-type: none"> Buildings should be set back at least 2m from one side boundary to retain spacing between buildings and enable landscaping. 	None specified	None specified	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 250m². 	<ul style="list-style-type: none"> A front fence within 3 metres: <ul style="list-style-type: none"> should provide no or a low, visually permeable style up to 0.8m in height. 	<ul style="list-style-type: none"> DDO1 DDO6 DDO8 DDO9 	
Incremental	<ul style="list-style-type: none"> Buildings should be set back at least 1m from one side boundary to retain spacing between buildings and enable landscaping. 	None specified	None specified	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 250m². 	<ul style="list-style-type: none"> may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability. 		
Substantial	<ul style="list-style-type: none"> Buildings should be set back at least 1m from one side boundary to retain spacing between buildings and enable landscaping. 	None specified	None specified	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 300m². 			

Garden Residential

Change Area	Side Setback	Site Coverage	Permeability	Landscaping	Front Fence Height	Existing DDOs	Existing SLOs
Minimal	<ul style="list-style-type: none"> Buildings should be set back a minimum of 3m from one side boundary to retain spacing between buildings and enable landscaping. 	None specified	None specified	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 250m² 	<ul style="list-style-type: none"> A front fence within 3 metres: <ul style="list-style-type: none"> should provide no or a low, visually permeable style up to 1.5m in height, constructed of timber or metal. may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability. 	<ul style="list-style-type: none"> DDO1 DDO6 DDO8 	
Incremental	<ul style="list-style-type: none"> Buildings should be set back a minimum of 2m from one side boundary to retain spacing between buildings and enable landscaping. 	None specified	None specified	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 250m² 	<ul style="list-style-type: none"> may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability. 	<ul style="list-style-type: none"> DDO1 DDO6 DDO8 DDO11 	
Substantial	<ul style="list-style-type: none"> Buildings should be set back a minimum of 2m from one side boundary to retain spacing between buildings and enable landscaping. 	None specified	None specified	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 300m². 		<ul style="list-style-type: none"> DDO1 DDO8 DDO11 	

Rural Residential

Change Area	Side Setback	Site Coverage	Permeability	Landscaping	Front Fence Height	Existing DDOs	Existing SLOs
Minimal	<ul style="list-style-type: none"> Buildings should be set back at least 4m from both side boundaries to enable the planting and growth of indigenous and native trees and understorey planting. 	30%	50%	<ul style="list-style-type: none"> Provide indigenous and native canopy trees occurring at a density of one to every 100m² across the site. 	<ul style="list-style-type: none"> A front fence within 3 metres of a street should provide no or a low, open style up to 1.5m in height, constructed of post and wire or timber. 	<ul style="list-style-type: none"> DDO1 DDO8 	<ul style="list-style-type: none"> SLO1

8.3 Draft Neighbourhood Character Area Map

The following Character Area Map shows the identified Neighbourhood Character Areas within Bass Coast.

As mentioned earlier, this Character Area Map forms part of the 'non-statutory' process of updating the Bass Coast Planning Scheme. This Character Area Map will assist in protecting and enhancing the character of these residential areas in tandem with the other non-measurable elements of the Precinct Profiles.



56 Draft Neighbourhood Character Area Map

8.4 Proposed Significant Landscape Overlay

The map below identifies the proposed Significant Landscape Overlay (SLO) for Character Areas within Bass Coast. The SLO is proposed for heavily vegetated Character Areas that are not currently covered by an existing SLO. This includes Bush Coastal 1, Bush Coastal 2, Bush Residential 1, Bush Residential 2 and Rural Residential. Vegetation and landscaping in these Character Areas is significant and a defining neighbourhood character element.

The SLO will require a permit for the removal of a indigenous and native vegetation and trees identified in the design guidelines, supported by the *Bass Coast Urban Forest Strategy*.

The SLO will also reflect the minimum site coverage and permeability requirements to the Zone schedule. To ensure consistency, the existing SLO which currently applies to certain areas may also need to be amended.



57 Proposed Significant Landscape Overlay

8.5 Further Recommendations

Aligning the Residential Development Framework with Neighbourhood Character

There are instances where the Residential Development Framework recommends the same zone for different housing change areas. In order to respond to preferred character, the schedules to the zones should be tailored to enable the preferred character and housing typology.

Bush Coastal 1 is an example of a preferred character area that is 'highly valued' and is either identified as minimal or incremental change which applies to NRZ areas. Accordingly, it is recommended that separate schedules to the NRZ be prepared to acknowledge preferred neighbourhood character and in turn enable the delivery of appropriate housing change.

Design and Development Overlays

It is recommended that Council conduct a review and assessment of all relevant DDO's that apply across Bass Coast Shire. This would be to ensure there are no duplications or conflicts between controls across proposed zone schedules and existing DDO's.

Where possible and relevant, Council should remove objectives and controls within existing DDO's schedules that would be more appropriately reflected in relevant zone schedules.

For existing DDO's that have been implemented for specific areas based on a targeted strategic plan, it is considered appropriate to retain the existing planning controls. For example, DDO9 implements the recommendations of Inverloch Design Framework Final Report.